

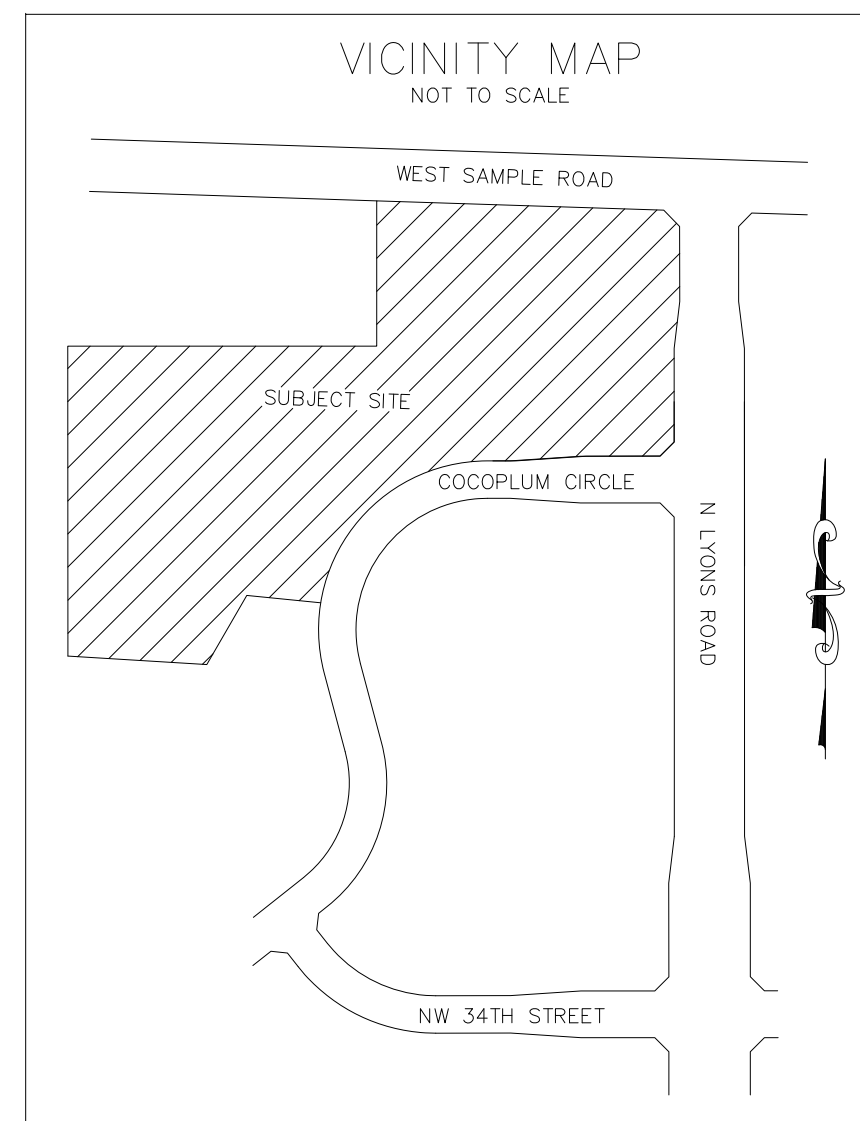
4. Reservations as contained in that certain Deed from the Board of Commissioners of Everglades Drainage District recorded in Deed Book 493, Page 166, partial release by that certain Release of Reservations No. 11035 recorded in Official Records Book 7878, Page 430, and that certain Non Use Commitment No. 510 recorded in Official Records Book 12806, Page 308. (NOTHING TO PLOT)
5. Reservations as contained in that certain Deed from the Trustees of the Internal Improvement Fund of the State of Florida recorded in Deed Book 500, Page 269, partial release by that certain Quit Claim Deed recorded in Official Records Book 7878, Page 433, and that certain Quit Claim Deed recorded in Official Records Book 12806, Page 305. (NOTHING TO PLOT)
6. Easement Rights as contained in that certain Final Judgment in favor of Florida Power & Light Company, filed February 20, 1961, in Official Records Book 2124, Page 587. (DOES NOT AFFECT SUBJECT PROPERTY)
7. Easement in favor of Florida Power & Light Company, filed of record November 20, 1979, in Official Records Book 8569, Page 395. (DOES NOT AFFECT SUBJECT PROPERTY)
8. Restrictions, Easements, Reservations and Dedications as contained on that certain Plat of TARTAN COCONUT CREEK PHASE III, according to the Plat thereof, as recorded in Plat Book 116, Page 48. (AS SHOWN ON SURVEY)
9. Restrictions, covenants, conditions and easements, which include provisions for (i) an easement on the land; (ii) a lien for liquidated damages; and (iii) a private charge or assessments, as contained in that certain Declaration of Covenants, Conditions and Restrictions of THE TOWNSHIP recorded in Official Records Book 8760, Page 924, amended in Official Records Book 10355, Page 927 and Official Records Book 10561, Page 672, and Assignment of Declarant's Rights recorded in Official Records Book 44118, Page 1434, as may be subsequently amended. (NOTHING TO PLOT)

NOTE: This exception omits any restriction, covenant, or condition based on race, color, religion, sex, handicap, familial status or national origin, if any, unless and only to the extent that the restriction is not in violation of state or federal law, or relates to a handicap, but does not discriminate against handicapped people.

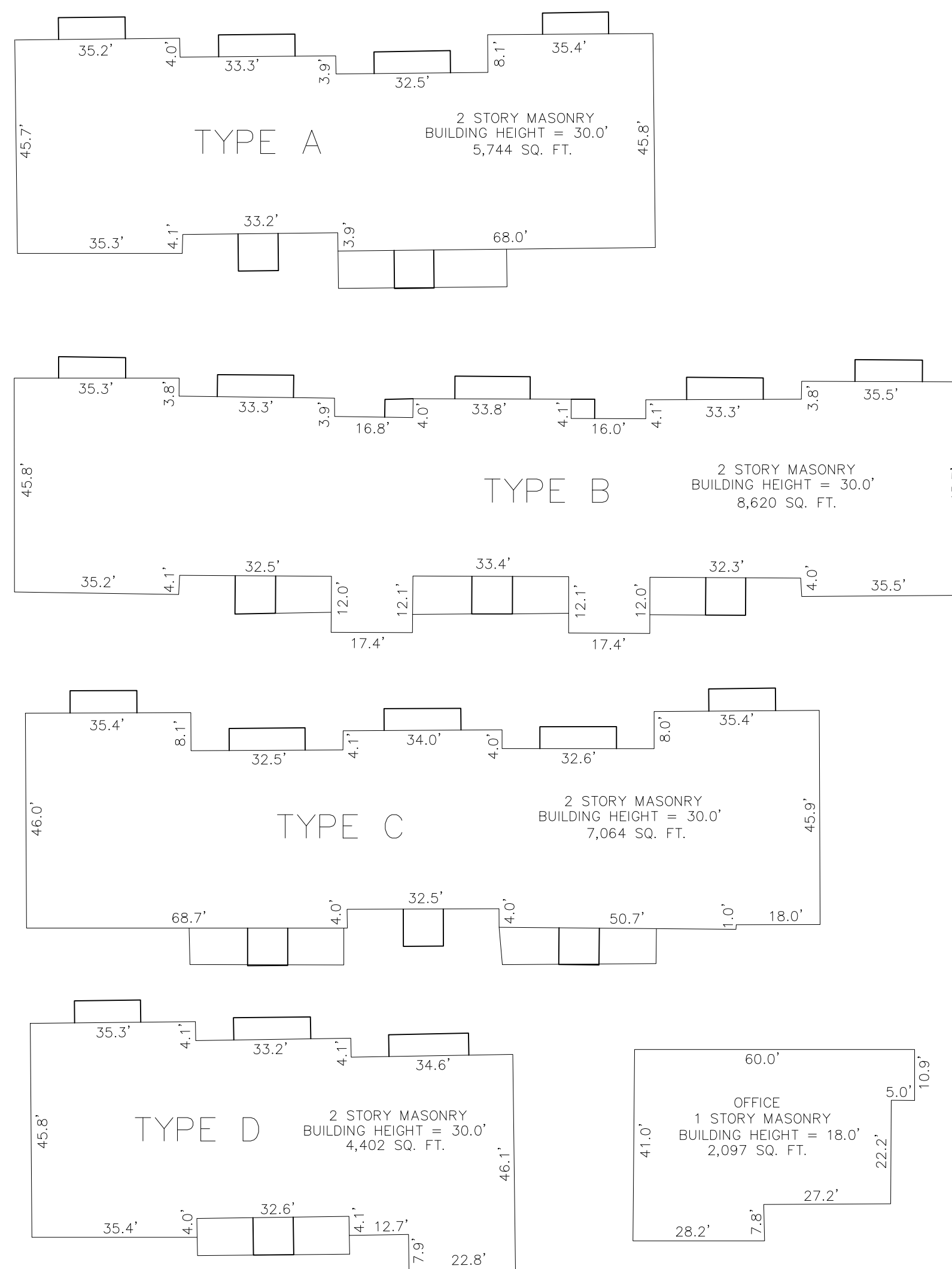
10. Grant of Easement in favor of Southern Bell Telephone and Telegraph Company, filed of record August 13, 1984, in Official Records Book 11926, Page 970. (AS SHOWN ON SURVEY)
11. Easement in favor of Florida Power & Light Company, filed of record June 4, 1986, in Official Records Book 13453, Page 446. (AS SHOWN ON SURVEY)
12. Easement in favor of Florida Power & Light Company, filed of record April 3, 1986, in Official Records Book 13299, Page 99. (AS SHOWN ON SURVEY)
13. Easement in favor of The City of Coconut Creek, filed of record August 5, 1987, in Official Records Book 14682, Page 548. (AS SHOWN ON SURVEY)
14. Easement in favor of The City of Coconut Creek, filed of record August 5, 1987, in Official Records Book 14682, Page 545. (AS SHOWN ON SURVEY)
15. Easement in favor of The City of Coconut Creek, filed of record August 5, 1987, in Official Records Book 14682, Page 565. (AS SHOWN ON SURVEY)
16. Restrictive Covenant recorded July 22, 2005, in Official Records Book 40136, Page 307. (NOTHING TO PLOT)
17. Grant of License in favor of Comcast of Coconut Creek, Inc. recorded August 4, 2008, in Official Records Book 45584, Page 1383. (NOTHING TO PLOT)
18. Ordinance No. 2008-032 of the City of Coconut Creek recorded in Official Records Book 47989, Page 1270. (NOTHING TO PLOT)

**LEGEND**

● SCIR	Set Capped Iron Rod
○ FCIR	Found Capped Iron Rod
○ FIR	Found Iron Rod
● FCIP	Found Capped Iron Pipe
○ FIP	Found Iron Pipe
○ FPIP	Found Pinched Iron Pipe
■ SCM	Set Concrete Monument (4"x4")
■ FCM	Found Concrete Monument
● SPKN&D	Set PK Nail & Disk
● FPKN&D	Found PK Nail & Disk
○ FRRS	Found Railroad Spike
◆ BM	Benchmark
● NCFOS	No Corner Found or Set
PRM	Permanent Reference Monument
CCR	Certified Corner Record
R/W	Right-of-Way
CONC	Concrete
(F)	Field Meas. or Observ
(F-C)	Field Calculation
(P)	Plot or Plan
(D)	Deed or Direction
TOB	Top of Bank
TOS	Top of Slope
O/HU	Overhead Utilities
UG	Underground Utilities
FEE	Finished Floor Elevation
EL	Elevation
POB	Point of Beginning
POC	Point of Commencement
PB/MB	Plat Book/Map Book
ORB	Official Records Book
CATV	Cable Television
RCP	Reinforced Concrete Pipe
PG	Page(s)
DI	Drainage Inlet
WDF	Wood Fence
SS	Sanitary Sewer
ST	Stormdrain Line
CMP	Corrugated Metal Pipe
CLF	Chain Link Fence
WTR	Water Line
INV	Invert Elevation
Sign	Sign
Conduit	Conduit
Gas Regulator	Gas Regulator
Backflow Preventor	Backflow Preventor
Water Valve	Water Valve
Sanitary Force Main Valve	Sanitary Force Main Valve
Wood Utility Pole	Wood Utility Pole
Concrete Utility Pole	Concrete Utility Pole
Light Pole	Light Pole
Guy Anchor	Guy Anchor
Electric Box/Riser	Electric Box/Riser
Telephone Pullbox/Riser	Telephone Pullbox/Riser
Cable TV Box/Riser	Cable TV Box/Riser
Bollard	Bollard
Power Transformer	Power Transformer
Clean Out	Clean Out
Sanitary/Sewer Manhole	Sanitary/Sewer Manhole
Storm Drain Manhole	Storm Drain Manhole
Water Meter	Water Meter
Well (size as indicated)	Well (size as indicated)
Fire Hydrant	Fire Hydrant
Property Line	Property Line



**BUILDING DETAILS (NOT TO SCALE)**



**LEGAL DESCRIPTION**

Tracts 39 and 40, of TARTAN COCONUT CREEK PHASE III, according to the Plat thereof, as recorded in Plat Book 116, Page 48, of the Public Records of Broward County, Florida, being more particularly described as follows:

Begin at the Southwest corner of said Tract 39; thence North 00° 01' 54" West along the West boundary of said Tract 39 for 661.80 feet; thence North 89° 59' 06" East for 660.00 feet; thence North 00° 01' 54" West for 310.26 feet; thence South 88° 08' 04" East along the South right-of-way line of Sample Road for 613.50 feet; thence South 44° 04' 59" East for 48.67 feet; thence South 00° 01' 54" East for 160.31 feet; thence South 06° 48' 40" West for 100.72 feet; thence South 00° 01' 54" East for 200.00 feet; the last three mentioned courses being coincident with the Westerly right-of-way line of Lyons Road; thence South 44° 58' 06" West for 42.43 feet; thence South 89° 58' 06" West for 158.00 feet; thence South 86° 09' 15" West for 150.33 feet; thence South 89° 58' 06" West for 49.07 feet to a point of curvature; thence Southwesterly along a circular curve to the left, having a radius of 340.54 feet, a central angle of 84° 10' 19" for an arc distance of 500.28 feet; the last four mentioned courses being coincident with the Northerly right-of-way line of Cocoplum Circle; thence North 84° 12' 13" West radially to the last described course for 188.11 feet; thence South 30° 00' 00" West for 170.58 feet; thence North 86° 30' 30" West for 297.20 feet to the Point of Beginning.

To (i) HSBC Bank USA, National Association, its successors and/or assigns, (ii) Chicago Title Insurance Company and (iii) Wood Partners;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 13, 14, 16, 17 and 18 of Table A thereof. The field work was completed on January 29, 2014.

Date of Plat or Map 02/06/14

Michael J. Lewis, PSM  
FL Registration LS 6288

I hereby certify that this survey was made under my responsible charge, is true and correct, and meets the Minimum Technical Standards as set forth under the Division of Consumer Services, Agriculture division pursuant to Florida Administrative Code, 5J-17.052.

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper  
CERTIFICATE OF AUTHORIZATION LS 6288

**NOTES:**

1. ALL BEARINGS AND STREET RIGHT OF WAYS ARE BASED ON RECORDED PLAT.
2. SURVEYOR DID NOT ABSTRACT PROPERTY. SURVEY BASED ON LEGAL DESCRIPTIONS SUPPLIED BY TITLE COMPANY. EASEMENTS, BUILDING LINES, ETC., SHOWN ARE AS IDENTIFIED BY CHICAGO TITLE INSURANCE COMPANY COMMITMENT CROWN POINTE GF No. 4711005111PS, EFFECTIVE DATE JANUARY 9, 2014. THE PROPERTY SHOWN IS PARCELS #484219120090 & #484219120100 ACCORDING TO THE BROWARD COUNTY PROPERTY APPRAISER. THE LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS INSURED IN THAT CERTAIN TITLE INSURANCE COMMITMENT CROWN POINTE GF No. 4711005111PS, EFFECTIVE DATE JANUARY 9, 2014. ISSUED BY CHICAGO TITLE INSURANCE COMPANY AND ALL EXCEPTIONS SHOWN IN SAID TITLE COMMITMENT HAVE BEEN NOTED HEREIN.
3. NOTHING IN THIS SURVEY IS INTENDED TO EXPRESS AN OPINION REGARDING OWNERSHIP OR TITLE.
4. THE WORD CERTIFY IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL JUDGEMENT BY THE SURVEYOR, WHICH IS BASED ON HIS BEST KNOWLEDGE.
5. SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY.
6. THIS SURVEY IS BEING PROVIDED SOLELY FOR THE USE OF THE CURRENT PARTIES AND THAT NO LICENSE HAS BEEN CREATED, EXPRESS OR IMPLIED. TO COPY THE SURVEY EXCEPT AS IS NECESSARY IN CONJUNCTION WITH THE ORIGINAL TRANSACTION.
7. (TABLE A ITEM 10A) THERE ARE NO PARTY WALLS ON THE SUBJECT TRACT.
8. (TABLE A ITEM 16) THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS IN RECENT MONTHS.
9. (TABLE A ITEM 17) THERE IS NO EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED; NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
10. (TABLE A ITEM 18) THERE IS NO OBSERVABLE EVIDENCE OF SITE USED AS A DUMP, SUMP, OR LANDFILL.
11. ZONING INFORMATION IS SHOWN ACCORDING TO THE PREVIOUS SURVEY. NO REPRESENTATION IS MADE FOR THE ACCURACY OR COMPLETENESS OF SAID THIRD PARTY INFORMATION. THIS FIRM IS NOT AN EXPERT IN THE INTERPRETATION OF COMPLEX ZONING ORDINANCES; COMPLIANCE IS BEYOND THE SCOPE OF THIS SURVEY. ANY USER OF SAID INFORMATION IS URGED TO CONTACT THE LOCAL AGENCY DIRECTLY.
12. THERE IS ONE ENCROACHMENT OBSERVED UPON A UTILITY EASEMENT AS SHOWN ON SURVEY.

**FLOOD NOTE:**

PROPERTY LIES WITHIN FLOOD ZONE AH, ACCORDING TO F.I.R.M. MAP NO. 1321103116, DATED AUGUST 18, 1992, BY GRAPHING PLOTTING ONLY, WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION. BEFORE ANY DEVELOPMENT PLANNING, DESIGN, OR CONSTRUCTION IS STARTED, THE COMMUNITY, CITY AND COUNTY IN WHICH SUBJECT TRACT EXISTS SHOULD BE CONTACTED. SAID ENTITIES MAY IMPOSE LARGER FLOOD PLAN AND FLOODWAY AREAS THAN SHOWN BY F.I.R.M. MAPS THAT WILL AFFECT DEVELOPMENT.

**ALTA/ACSM LAND TITLE SURVEY OF TRACTS 39 & 40, TARTAN COCONUT CREEK PHASE III**

ADDRESS: 3974 COCOPLUM CIRCLE, BROWARD COUNTY, COCONUT CREEK, FLORIDA 33063		REVISIONS:	
SITE NAME: CROWN POINTE APARTMENTS		NO.	DATE
JOB NO: 14-6031		DESCRIPTION	
DATE: 2/06/14		SCALE: 1" = 50'	
SHEET 1 OF 3			



**LANDCO, L.P.**

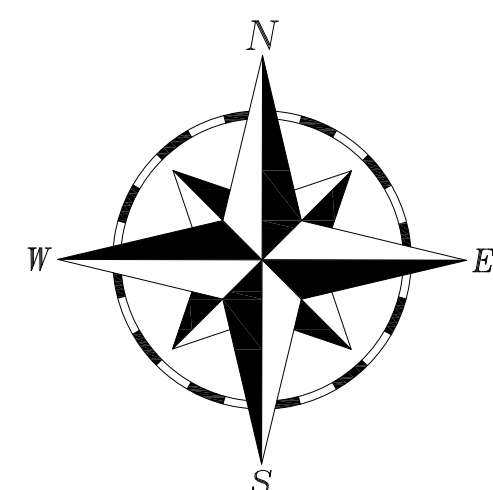
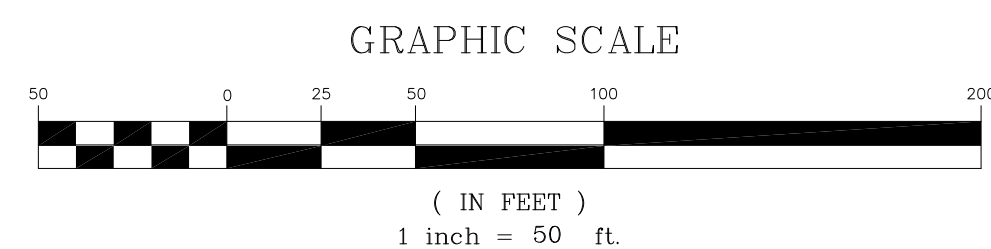
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WEST SAMPLE ROAD

200.0' PUBLIC RIGHT-OF-WAY

CENTERLINE OF RIGHT-OF-WAY

RIGHT-OF-WAY LINE



FISHERMAN'S LANDING APARTMENTS

FCIP 1/2" LB 5610  
FCIP 1/2" 0.1N, 0.1E

N89°59'06"E 660.00'(P) N89°59'41"E 660.02'(F)

FCIP 1/2" LB 5610

CITY OF COCONUT CREEK EASEMENT  
PER ORB 14682, PAGE 565

12' UTILITY EASEMENT  
PER ORB 13453, PAGE 446

12' UTILITY EASEMENT  
PER ORB 13453, PAGE 446

12' UTILITY EASEMENT  
PER ORB 13289, PAGE 99

CITY OF COCONUT CREEK ESM'T  
O.R. BOOK 14682, PAGE 548

SPKN&D  
LS 6288

S86°09'15"W 150.33'(P&F)

SPKN&D  
LS 6288

S89°58'06"W 158.00'(P&F)

COCOPLUM CIRCLE

PUBLIC RIGHT-OF-WAY WIDTH VARIES

L5

FCIP 1/2" LB 5610

FCIP 1/2" LB 5610

FCIP 1/2" LB 5610

FCIP 1/2" LB 5610

FCIP 1/2" LB 5610

N00°01'54"W 661.80'(F) N00°01'19"W 661.92'(F)

FCIP 1/2" LB 5610

N84°12'13"W 188.11'(P)

N84°10'10"W 188.08'(F)

S30°00'00"W 170.88'(P)

S30°04'04"W 170.88'(F)

FCIP 1/2" LB 5610

POINT OF BEGINNING  
FCIP 1/2" LB 5610  
FCIP 1/2" 2.0'S

N86°30'30"W 297.20'(P) N86°31'41"W 297.17'(F)

FCIP 1/2" LB 5610

LINE TABLE

PLAT	BEARING	DISTANCE	FIELD	BEARING	DISTANCE
L1	S 44°04'59" E	48.67'	L1	S 44°29'47" E	48.88'
L2	S 44°58'06" W	42.43'	L2	S 44°56'03" W	42.55'
L3	S 89°58'06" W	49.07'	L3	S 89°58'06" W	49.07'

CURVE TABLE

PLAT	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	340.54'	500.28'	S 47°53'03" W	456.49'
FIELD	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	340.54'	500.28'	S 47°53'17" W	456.49'

**ALTA/ACSM LAND TITLE SURVEY OF**  
TRACTS 39 & 40, TARTAN COCONUT CREEK PHASE III

ADDRESS: 3974 COCOPLUM CIRCLE, BROWARD COUNTY, COCONUT CREEK, FLORIDA 33063		SHEET 2 OF 3	
SITE NAME: CROWN POINTE APARTMENTS		REVISIONS:	
JOB NO: 14-6031		DATE: 2/06/14	SCALE: 1" = 50'
NO.	DATE	DESCRIPTION	



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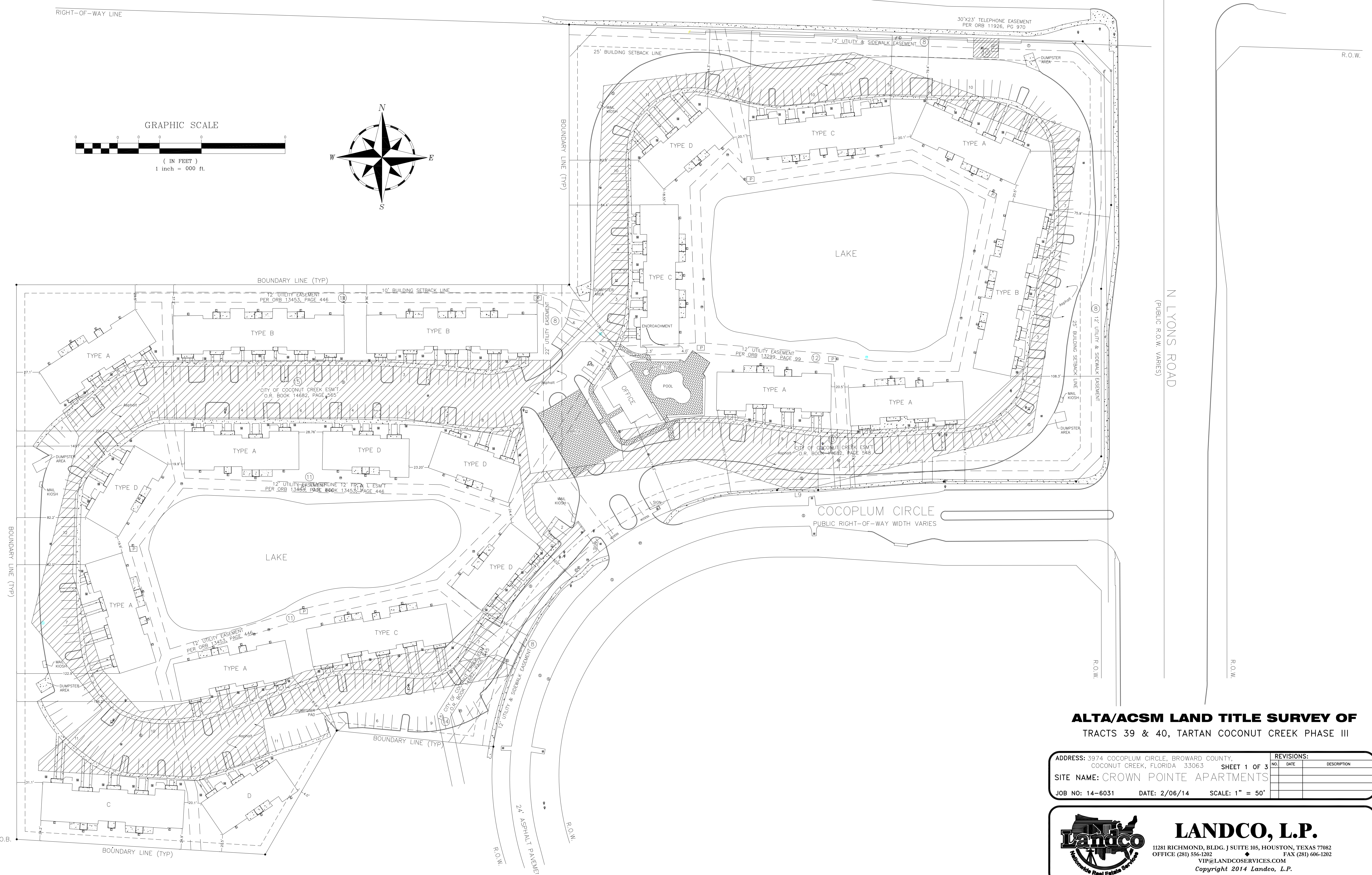
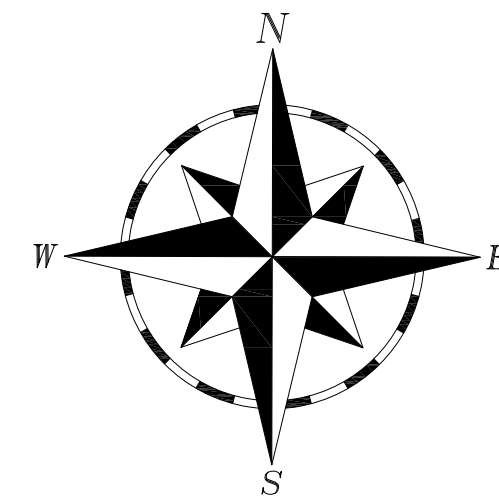
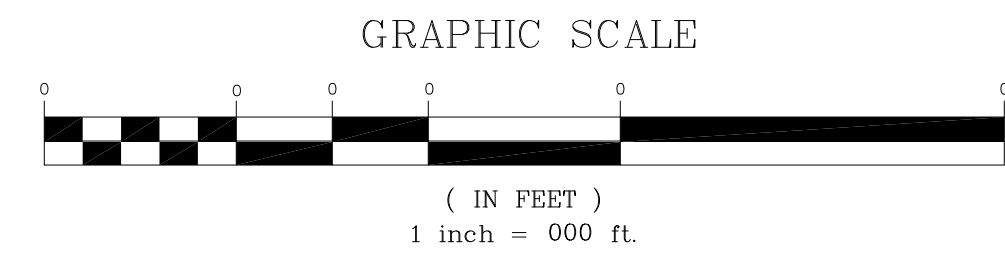
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WEST SAMPLE ROAD

(PUBLIC R.O.W. VARIES)

RIGHT-OF-WAY LINE



**ALTA/ACSM LAND TITLE SURVEY OF**  
**TRACTS 39 & 40, TARTAN COCONUT CREEK PHASE III**

ADDRESS: 3974 COCOPLUM CIRCLE, BROWARD COUNTY, COCONUT CREEK, FLORIDA 33063		SHEET 1 OF 3	
SITE NAME: CROWN POINTE APARTMENTS		REVISIONS:	
JOB NO: 14-6031	DATE: 2/06/14	SCALE: 1" = 50'	NO. DATE DESCRIPTION

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