

GOLDEN RAINTREE I HOMEOWNERS ASSOCIATION, INC.

c/o: Transcontinental Property Management, Inc.
1323 Lyons Road
Coconut Creek, FL 33063
Phone 954-979-3620 / Fax 954-979-6975

RECEIVED
JUL 25 2011
CITY OF COCONUT CREEK

July 21, 2011

Coconut Creek Building and Zoning
4800 Copans Road
Coconut Creek, FL 33063

To Whom It May Concern:

We wish to change the protective railings to our upper sliding glass door from wood to aluminum. The reasons for the change are:

- A.) The existing wood is rotting and weakened
- B.) The aluminum offers stronger protection for the safety purpose it was intended for.
- C.) It will add uniformity as surrounding villages now have the metal.

The rail will be medium bronze.

We anticipate that the rail in aluminum will be safer and look better and will eliminate rotting.

Beth Falikowski

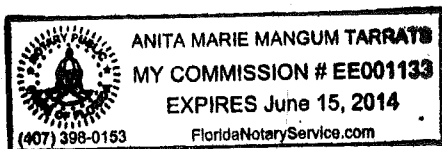
Beth Falikowski, Pres of
Golden Raintree I Homeowners Association, Inc.

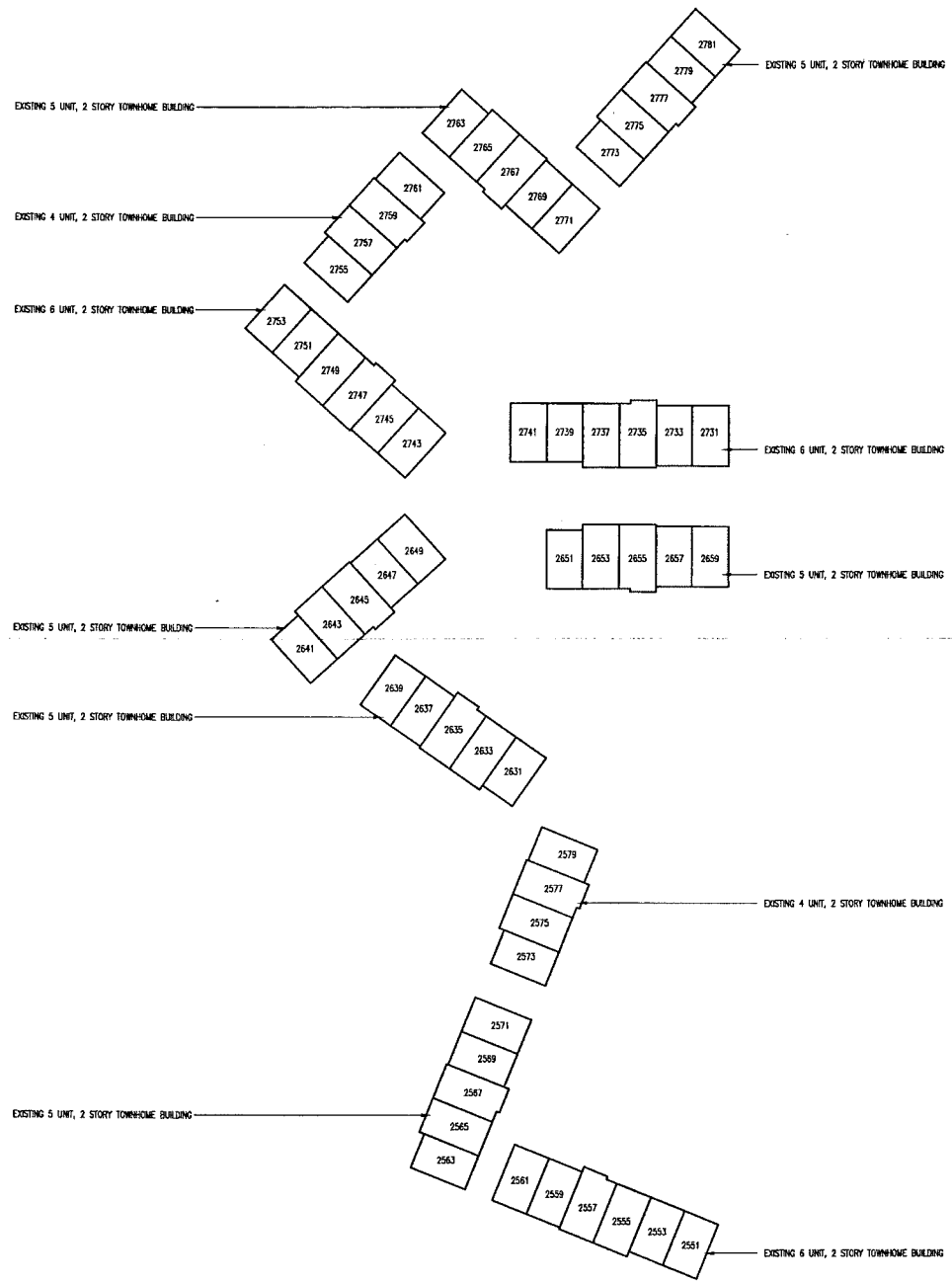
Witness my hand and official seal at said County and State,

This 21 Day of July, 2011.

Anita M. M. Tarrats

Notary Public, State of Florida at Large.





NOTE:
ALL ITEMS SHOWN ARE EXISTING
NOTE:
NO WORK IS BEING DONE TO THE PUBLIC
RIGHT-OF-WAY

N
KEY PLAN
SCALE: 3/128" = 1'-0"

ARCHITECTURAL SPECIFICATIONS

SECTION 1.0100 - GENERAL NOTES

- THESE DESIGNS AND DRAWINGS ARE "COPYRIGHT 2011 BY MEDERIOS ARCHITECTURAL GROUP, INC." AND MAY NOT BE USED OR REPRODUCED EXCEPT WITH SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.
- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, DOCUMENT A201, CURRENT EDITION, SHALL APPLY TO THIS CONTRACT AS IF WRITTEN IN FULL HEREIN AND SHALL APPLY TO ALL WORK.
- ALL WORK TO BE PERFORMED BY THE GENERAL CONTRACTOR AND ANY SUB-CONTRACTORS SHALL COMPLY WITH THESE PLANS, THESE PLANS WERE PREPARED AS PER FLORIDA BUILDING CODE - EXISTING BUILDING, 2007 EDITION REQUIREMENTS, ALL LOCAL ZONING ORDINANCES AND ALL STATE AND NATIONAL CODES WHICH ARE APPLICABLE TO THIS STRUCTURE.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS (SUBS) SHALL FIELD CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO SUBMITTING A BILL. THE CONTRACTOR MUST NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND BETWEEN ACTUAL CONDITIONS AND THE DRAWINGS. ALL INFORMATION ON THE CONTRACT DOCUMENTS WHICH IS EXISTING SHALL BE VIEWED AS SCHEMATIC DATA AND SHALL BE FIELD VERIFIED. NO EXTRA PAYMENT WILL BE GIVEN FOR CONDITIONS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER BEFORE STARTING OF THE CONTRACT.
- ANY CHANGES MADE BY THE CONTRACTOR WHICH DEVIATE FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT IN WRITTEN FORM FOR ANY SUCH CHANGES WHICH REQUIRE THE CONSTRUCTION DOCUMENTS TO BE CHANGED THE ARCHITECT WILL BE REIMBURSED FOR HIS TIME. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DECISIONS FROM THE CONSTRUCTION DOCUMENTS WHICH ARE NOT REPORTED TO HIM.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN A TIMELY MANNER (NOT LESS THAN 48 HOURS) PRIOR TO CALLING ARCHITECT FOR AN ON-SITE INSPECTION.
- THE ARCHITECT DOES NOT HAVE CONTROL OF AND SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES; SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE WORK AND THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT EXCEPT WHERE A DETAIL IS SHOWN OR A NOTE IS ON THE DRAWINGS.
- ALL SPECIFIED ITEMS SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS AND RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MORE RESTRICTIVE.
- THE CONTRACTOR SHALL SUBMIT FOUR (4) SETS OF SHOP DRAWINGS FOR ITEMS CALLED FOR IN THE CONSTRUCTION DOCUMENTS (ONE SET IS TO BE RETAINED BY THE ARCHITECT). THE ARCHITECT SHALL REVIEW AND TAKE APPROPRIATE ACTION UPON THE CONTRACTOR'S SUBMITTAL, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN AND DESIGN CONCEPTS EXPRESSED IN THE CONSTRUCTION DOCUMENTS.
- IT IS THE INTENT OF THESE DOCUMENTS TO PRODUCE A COMPLETE AND FINISHED PROJECT. ANY ITEMS REQUIRED TO COMPLETE THE PROJECT NOT SPECIFICALLY INDICATED, BUT GENERALLY UNDERSTOOD TO BE REQUIRED TO COMPLETE THE JOB SHALL BE A PART OF THE CONSTRUCTION DOCUMENTS.
- DO NOT SCALE THE DRAWINGS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AS REQUIRED BY GOVERNING BODIES HAVING JURISDICTION, AND CARRY INSURANCE AS REQUIRED BY LAW. EACH CONTRACTOR, SUB-CONTRACTOR OR PARTY ENGAGED ON THE PROJECT SHALL CARRY WORKMAN'S COMPENSATION INSURANCE IN STATUTORY AMOUNTS; LIABILITY, BODILY INJURY, AUTOMOBILE, AND OTHER INSURANCE IN AMOUNTS AND FOR PERIODS SATISFACTORY TO THE GENERAL CONTRACTOR. CERTIFICATES OF INSURANCE SHALL BE SUBMITTED BEFORE COMMENCING THE WORK. THE INSURANCE POLICY IS TO BE CARRIED BY THE OWNER TO THE FULLEST EXTENT PERMITTED BY LAW. CONTRACTORS, SUB-CONTRACTORS AND PARTIES ENGAGED IN PORTIONS OF THE WORK SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT AND HIS CONSULTING ENGINEERS AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSS (INCLUDING DEATH) AND EXPENSES, INCLUDING, BUT NOT LIMITED TO ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- SUB-CONTRACTORS SHALL COORDINATE THEIR WORK WITH OTHER TRADES ON THE JOB-SITE AND CLEAN UP AT THE END OF EACH PRICE OR DAY.
- CONTRACTOR SHALL PROTECT THE EXISTING BUILDINGS AND ADJACENT PROPERTY FROM DAMAGE AND BE LIABLE FOR SAME. ALL DEBRIS AND RUBBISH SHALL BE REMOVED FROM THE JOB-SITE AND THE PROPERTY TURNED OVER TO THE OWNER IN A BROOM CLEAN CONDITION.
- PROVIDE ONE (1) YEAR WARRANTY ON ALL WORK FROM DATE OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER AND THE ARCHITECT.
- ARCHITECTURAL DRAWINGS ARE TO BE WORKED IN CONJUNCTION WITH THESE SPECIFICATIONS.
- COMMENCEMENT AND COMPLETION TIMES.
 - WORK SHALL COMMENCE AT A DATE MUTUALLY AGREEABLE TO OWNER AND CONTRACTOR.
 - CONTRACTOR TO SUBMIT CONSTRUCTION SCHEDULE AND COMPLETION DATE TO OWNER FOR REVIEW.
- THE CONTRACTOR OR HIS DESIGNATED PROJECT FOREMAN SHALL BE PRESENT ON THE JOB-SITE AT ALL TIMES WHEN ANY PROJECT WORK IS ONGOING.
- THE OWNER RESERVES THE RIGHT TO REJECT ANY AND ALL BIDS.

SECTION 1.0101 - SCOPE OF WORK

- REMOVE EXISTING T-111 SIDING AND WOOD TRIM AT FRONT AND SIDE ELEVATIONS OF ALL ELEVEN (11) BUILDINGS.
 - INSPECT EXISTING PLYWOOD BACKING. REMOVE/REPLACE DAMAGED SECTIONS WITH PLYWOOD OF AN EQUIVALENT THICKNESS AND FASTEN ALL NEW AND EXISTING EXPOSED PLYWOOD PER CURRENT CODE.
 - WHERE SECTIONS OF EXISTING PLYWOOD BACKING HAVE BEEN REMOVED, INSPECT EXISTING WOOD STUDS FOR DAMAGE. REMOVE ANY DAMAGED WOOD STUDS OR DAMAGED SECTIONS OF WOOD STUDS AND REPLACE STUD OR PROVIDE AN ADDITIONAL STUD FASTENED TO THE DAMAGED STUD, WHERE ACCESSIBLE, INSTALL NEW RAFTER TIES, USP MODEL NO. 877 (OR APPROVED EQUAL) AT EACH SIDE OF EXPOSED STUD WITH (10) 8d RING SHANK NAILS; (5) INTO WOOD STUD, (5) INTO WOOD PLATE. NIA. 07-0306.1(L).
 - INSTALL A NEW LAYER OF PLYWOOD OF AN EQUIVALENT THICKNESS TO THE REMOVED T-111 SIDING OVER THE EXISTING PLYWOOD BACKING AND FASTEN PER CURRENT CODE REQUIREMENTS.
 - INSTALL NEW 3/8" FELT, METAL LATH AND STUCCO OVER NEW PLYWOOD.
 - RECREATE LOOK OF REMOVED WOOD TRIM IN STUCCO.
 - REMOVE/REPLACE DAMAGED SECTIONS OF WOOD FASCIA.
 - INSTALL NEW METAL FLASHING AT EXISTING STUCCO WALLS AND AT WALL MOUNTED LEDGER AT TRELLIS.
- AT REAR SIDE OF BUILDING, INSTALL NEW 3/8" FELT, METAL LATH AND STUCCO OVER EXISTING T-111 SIDING AND WOOD TRIM.

SECTION 1.0102 - SPECIAL CONDITIONS

- ASBESTOS PROHIBITION PRODUCTS CONTAINING ASBESTOS ARE PROHIBITED FROM USE ON THIS PROJECT.
- CONTRACTOR SHALL HAVE CELLULAR COMMUNICATION CAPABILITY AT THE PROJECT SITE WHENEVER ANY WORK IS ONGOING.
- CONTRACTOR MAY USE EXISTING POWER AND WATER FOR CONSTRUCTION PURPOSES.
- CONTRACTOR SHALL PROVIDE A PORTABLE TOILET FOR CONSTRUCTION PERSONNEL. (IF REQUIRED BY OWNER).
- CONTRACTOR SITE ACCESS AND STAGING AREA(S) PER OWNER'S INSTRUCTIONS.
- SALVAGED ITEMS.
 - PRIOR TO THE START OF THE WORK THE CONTRACTOR SHALL CAREFULLY REMOVE, TRANSPORT AND STORE ON-SITE IN A LOCATION DESIGNATED BY THE OWNER, THOSE ITEMS AS SELECTED BY THE OWNER.
- BARRIERS.
 - FURNISH, INSTALL AND MAINTAIN SUITABLE BARRIERS AS REQUIRED TO PREVENT PUBLIC ACCESS TO THE WORK AND CONSTRUCTION STAGING AREAS AND TO PROTECT EXISTING FACILITIES AND SITE IMPROVEMENTS FROM DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES. REMOVE BARRIERS WHEN NO LONGER NEEDED AND AT PROJECT COMPLETION.

SECTION 1.0103 - SUMMARY OF THE WORK

- OWNER'S USE OF PREMISES: THE OWNERS SHALL OCCUPY THE BUILDINGS THROUGHOUT THE PERIOD OF CONSTRUCTION.
 - CONTRACTOR SHALL CONDUCT THE WORK SO AS TO INSURE THE LEAST INCONVENIENCE TO THE OWNERS AND THE OWNER'S GUESTS.
 - NOTIFY OWNERS AT LEAST 48 HOURS IN ADVANCE OF AND SECURE OWNER'S APPROVAL FOR UTILITY OUTAGES REQUIRED TO PERFORM THE WORK.
- SITE SECURITY: CONTRACTOR TO SECURE THE JOB-SITE AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL PROTECT THE EXISTING BUILDING AND GROUNDS FROM DAMAGE CAUSED BY THE CONSTRUCTION PROCESS AND SHALL REPAIR ANY AND ALL SUCH DAMAGE.

SECTION 2.0100 - SITE WORK

- REPAIR ANY AND ALL DAMAGE AS CAUSED BY THE CONSTRUCTION PROCESS.

SECTION 5.0116 - FASTENERS

- CONTRACTOR SHALL FURNISH AND INSTALL ANCHORS, ANCHOR BOLTS, WEDGE ANCHOR BOLTS, NUTS, PLATES AND OTHER CONNECTIONS SHOWN OR REQUIRED TO COMPLETE THE WORK.
- PROVIDE ANY FASTENERS TO OTHER TRADES FOR INSTALLATION WHERE SUCH ITEMS ARE NOT SPECIFICALLY PROVIDED UNDER THEIR RESPECTIVE SECTION.
- ALL NAILS, ANCHORS, ANCHOR BOLTS, NUTS AND OTHER CONNECTIONS TO BE GALVANIZED. ANY CONNECTION FABRICATED FOR THIS PROJECT SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION.

SECTION 6.0200 - CARPENTRY

- ROUGH FRAMING MEMBERS, FURRING STRIPS, BLOODS, ETC.: S4S STANDARD GRADE DOUGLASS FIR OR NO. 2 PINE.
- PRESSURE TREATED LUMBER: USE WHERE IN CONTACT WITH MASONRY, CONCRETE OR STEEL.
- WOOD BLOCKING, GROUNDS, FURRING, NAILERS, SLEEPERS AND SUPPORT MEMBERS: SPECIES AND GRADE SUITABLE FOR STRAIGHT AND TRUE INSTALLATIONS.

- ROUGH CARPENTRY OR SHOWN MEMBERS SHALL BE INSTALLED LEVEL, PLUMB AND TRUE WITH TIGHT, WELL MAILED JOINTS.
 - SET FRAMING UP ALL CORNERS WITH 3" OR MORE STUDS.
 - FRAME UP ALL CORNERS WITH 3" OR MORE STUDS.
- COORDINATE WITH OTHER TRADES AND PROVIDE BLOCKING (INCLUDING BLOCKING FOR OWNER SUPPLIED ITEMS), BRACING AND RELATED WORK AS REQUIRED.
- INSTALL FINISH CARPENTRY ITEMS STRAIGHT, LEVEL AND PLUMB AND SECURED WITH FINISH NAILS OF PROPER SIZE TO HOLD MEMBERS FIRMLY IN PLACE WITHOUT SPLITTING THE WOOD.
- INSTALL FINISH HARDWARE AND ADJUST FOR SMOOTH EASY OPERATION.
- PROVIDE PRE-SETTING IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FULLED SPOCS TO LIMIT THE MAXIMUM DIMENSION OF ANY CONCEALED SPACE TO 8'-0" PER FLORIDA BUILDING CODE - BUILDING, SECTION 717.

SECTION 6.0300 - ARCHITECTURAL WOOD WORK

- THE WORK INCLUDES THE FURNISHING AND INSTALLATION OF WOOD FASCIA AND ALL EXPOSED WOOD ITEMS AND ALL OTHER FRAMING NOT NOTED.
- ALL WORK UNDER THIS SECTION SHALL BE OF THE FINEST QUALITY. JOINTS SHALL BE CLOSE AND SMOOTH, MAKING WHEN EXPOSED SHALL BE WITH FINISHING NAILS WITHOUT MARKING THE MATERIAL.

SECTION 7.0110 - ROOFING, SHEET METAL AND ACCESSORIES

- THE WORK INCLUDES:
 - INSTALL NEW CONTINUOUS GALVANIZED STEEL METAL FLASHING AT WALL / ROOF INTERSECTION.
 - INSTALL PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

SECTION 7.0900 - CAULKING AND SEALANTS

- CAULK AND SEAL TO MAKE BUILDING WEATHERTIGHT, FILL JOINTS BETWEEN ADJACENT DISSIMILAR MATERIALS AND RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MORE RESTRICTIVE.
- PREPARE JOINTS AND APPLY CAULKS AND SEALANTS IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- BUILD UP CAULK JOINTS IN SEVERAL APPLICATIONS AS DEMONSTRATED BY JOINT SIZE TO MAXIMIZE SHRINKAGE, TOOL OFF JOINTS FLAT AND SMOOTH.
- SUBMIT MANUFACTURER'S PRODUCT LITERATURE AND COLOR CHART TO ARCHITECT FOR REVIEW.
 - G.E. ACRYLIC SILICONEZED 40 YEAR PRO SEALANT CAULK AT WINDOWS AND DOORS.
 - SHARPEX CONSTRUCTION SEALANT AT ALL OTHER LOCATIONS.
- CONTRACTOR SHALL USE LOW OR NON-VOC BASED PRODUCTS.

SECTION 9.0112 - PAINTING

- THE WORK INCLUDES BUT IS NOT LIMITED TO THE PAINTING OF:
 - EXTERIOR PRIME/PAINT NEW SURFACES; PAINT EXISTING SURFACES.
 - COLORS TO BE SELECTED BY OWNER.
 - USE THE BEST QUALITY PRODUCTS IN COLORS AS SELECTED BY OWNER FROM THE FOLLOWING MANUFACTURERS:
 - PPG.
 - OR APPROVED EQUAL.
 - CONTRACTOR SHALL USE LOW OR NON-VOC BASED PRODUCTS.
 - INSPECT SURFACES TO REMOVE PAINT AND NOTIFY ARCHITECT IN WRITING OF DEFECTS WHICH CANNOT BE REMOVED BY PROCESSES SPECIFIED IN THIS SECTION. COMPARISON PAINTING OPERATIONS ON A UNIT OF WORK CONSTITUTES ACCEPTANCE OF SURFACES AND INVALIDATES FURTHER CLAIMS BY THE CONTRACTOR.
 - PREPARATION OF SURFACES.
 - REMOVE GREASE, DIRT AND OTHER FOREIGN MATERIALS FROM ALL SURFACES PRIOR TO PAINTING.
 - REMOVE MILL SLICK FROM GALVANIZED METAL.
 - REMOVE EXPOSED NAILS, SCREWS, OTHER METAL FASTENERS, ETC., WHICH PROTRUDE FROM AREAS TO BE PAINTED AND FILL IN HOLES.
 - FILL NAIL HOLES, CRACKS AND DEPRESSIONS IN WOOD SURFACES.
 - SAND SURFACES NORMALLY SMOOTH PRIOR TO APPLICATION OF PAINT AND BETWEEN COATS OF PAINT. INTERPRET THE TERM "SMOOTH" TO MEAN FREE FROM ROUGHNESS, RIDGES AND PROJECTIONS ON THE SURFACE.
 - PREPARATION NOT COMPLETE OR OVERLOOKED PRIOR TO THE FIRST COAT OF PAINT SHALL BE ACCOMPLISHED BETWEEN COATS OF PAINT, REGARDLESS OF APPROVAL OR ORIGINAL PREPARATION.
 - REMOVE HARDWARE AND ELECTRIC TRIM PRIOR TO PAINTING AND REINSTALL AFTER PAINTING IS FINISHED.
 - SCHEDULE OF FINISHES (ALL REQUIRED PAINTING SHALL BE DONE WHETHER OR NOT SPECIFICALLY INCLUDED IN THIS SCHEDULE):
 - NEW STUCCO:
 - 1 COAT PPG PERMA-CRETE HOT STUCCO PRIMER.
 - 1 COAT PPG PORTERSEPT MILDEN PROOF PAINT.
 - EXISTING STUCCO:
 - 1 COAT PPG CLEAR PENETRATING MASONRY SEALER.
 - 1 COAT PPG PORTERSEPT MILDEN PROOF PAINT.
 - NEW EXTERIOR WOOD:
 - 1 COAT PPG ACRYLIC WOOD PRIMER.
 - 1 COAT PPG PORTERSEPT MILDEN PROOF PAINT.
 - EXISTING EXTERIOR WOOD:
 - SPOT PRIME ALL BARE AND PEELING WOOD AREAS WITH PPG ACRYLIC WOOD PRIMER.
 - 1 COAT PPG PORTERSEPT MILDEN PROOF PAINT.
 - NEW METAL:
 - 1 COAT PPG ACRYLIC METAL PRIMER.
 - 1 COAT PPG DTM ACRYLIC ENAMEL.
 - EXISTING METAL, ENTRANCE DOORS, DOWNSPOUTS AND GUTTERS:
 - SPOT PRIME WHERE BARE OR RUSTY WITH PPG DTM ACRYLIC METAL PRIMER.
 - 1 COAT PPG DTM ACRYLIC ENAMEL FOR DOORS.
 - 1 COAT PPG PORTERSEPT MILDEN PROOF PAINT FOR GUTTERS AND DOWNSPOUTS.
 - APPLY PAINT ONLY TO SURFACES WHICH ARE SMOOTH, EVEN, THOROUGHLY DRY AND CLEAN AND FREE OF DEFECTS WHICH WOULD ADVERSELY AFFECT APPLICATION OF PAINT.
 - APPLY PAINT BY BRUSH OR ROLLER AT THE CONTRACTOR'S OPTION, SUBJECT TO PRIOR APPROVAL BY ARCHITECT, EXCEPT AS NOTED, HEREIN.
 - ROLLER APPLICATION:
 - MAXIMUM ROLLER WIDTH: 9".
 - MAXIMUM ROLLER HANDLE LENGTH: 5'-0".
 - APPLY MATERIALS EVENLY WITHOUT RUNS, SACS, HOLIDAYS, BRUSH MARKS, AIR BUBBLES OR STIPPLE.
 - COVER SURFACES COMPLETELY. IF SPECIFIED COATS DO NOT HIDE STAIN, DIRT OR UNDERCOATS, PROVIDE ADDITIONAL COATS TO ACHIEVE UNIFORM COVERAGE AND HIRING AT NO ADDITIONAL COST TO OWNER.
 - COATS SHALL BE THOROUGHLY DRY BEFORE APPLYING SUCCEEDING COATS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - CLEANING: AT COMPLETION OF PAINTING, REMOVE PAINT MATERIALS AND EQUIPMENT, TOUCH-UP MARRED SURFACES AND THOROUGHLY CLEAN ALL PAINT DROPS AND SPILLS FROM ALL SURFACES NOT SCHEDULED TO BE PAINTED.

SECTION 9.0200 - STUCCO

- PRIOR TO START OF WORK EXAMINE EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY CONDITIONS WHICH WILL ADVERSELY EFFECT THE QUALITY OF THE WORK. START OF WORK SHALL INDICATE THAT CONDITIONS ARE SUITABLE FOR A PERFECT JOB.
- STUCCO APPLIED TO METAL LATH: SWEET MASONRY CEMENT, TYPE "S" (OR APPROVED EQUAL), 2 COATS, MINIMUM 1/2" THICK, TEXTURE TO MATCH EXISTING.
- ACCESSORIES:
 - STAINLESS STEEL METAL LATH, AMCO, MODEL NO. SSS304, 1.75 LBS. OR APPROVED EQUAL.
 - ACCESSORIES COMING IN CONTACT WITH THIS LATH SHALL BE STAINLESS STEEL OR VINYL.
 - USE A COMPATIBLE FASTENER OR SEPARATE FROM THE LATH BY WASHERS MADE OF PLASTIC, NEOPRENE OR SOME OTHER INERT MATERIAL.
 - INSTALL NEW 3/8" FELT ON FACE OF NEW 5/8" EXTERIOR GRADE PLYWOOD SHEATHING.
 - CORNER BEADS, J-BEADS, ETC.: VINYL.
 - INSTALL ITEMS PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

SECTION 10.0440 - SIGNAGE

- PROTECT EXISTING BUILDINGS SIGNAGE AND REPAIR/REPLACE ANY SIGNAGE DAMAGED BY THE WORK.

ZONING ANALYSIS:

BUILDINGS REMODELING
CALL: 1 IN TREE CALL
ADDRESS: 2551 - 2781 NW 42 AVENUE
COCONUT CREEK, FLORIDA 33066

SCOPE OF WORK:

- REMOVE EXISTING T-111 SIDING AND WOOD TRIM AT FRONT AND SIDE ELEVATIONS OF ALL ELEVEN (11) BUILDINGS.
 - INSPECT EXISTING PLYWOOD BACKING. REMOVE/REPLACE DAMAGED SECTIONS WITH PLYWOOD OF AN EQUIVALENT THICKNESS (1/2" THICK) AND FASTEN ALL NEW AND EXISTING EXPOSED PLYWOOD WITH 8d RING SHANK NAILS AT 8" o.c., 4" o.c. AT CORNERS, PER FLORIDA BUILDING CODE - RESIDENTIAL, SECTION RA409.9.3 STORM SHEATHING. WHERE SECTIONS OF EXISTING PLYWOOD 1/2" THICK HAVE BEEN REMOVED, INSPECT EXISTING WOOD STUDS FOR DAMAGE. REMOVE ANY DAMAGED WOOD STUDS OR DAMAGED SECTIONS OF WOOD STUDS AND REPLACE STUD OR PROVIDE AN ADDITIONAL STUD FASTENED TO THE DAMAGED STUD, WHERE ACCESSIBLE, INSTALL NEW RAFTER TIES, USP MODEL NO. 877 (OR APPROVED EQUAL) AT EACH SIDE OF EXPOSED STUD WITH (10) 8d RING SHANK NAILS; (5) INTO WOOD STUD, (5) INTO WOOD PLATE. NIA. 07-0306.1(L).
 - INSTALL A NEW LAYER OF PLYWOOD OF AN EQUIVALENT THICKNESS TO THE REMOVED T-111 SIDING OVER THE EXISTING PLYWOOD BACKING AND FASTEN WITH 8d RING SHANK NAILS AT 8" o.c., 4" o.c. AT CORNERS, PER FLORIDA BUILDING CODE - RESIDENTIAL, SECTION RA409.9.3 STORM SHEATHING.
 - INSTALL NEW 3/8" FELT, METAL LATH AND STUCCO OVER NEW PLYWOOD.
 - RECREATE LOOK OF REMOVED WOOD TRIM IN STUCCO.
 - REMOVE/REPLACE DAMAGED SECTIONS OF WOOD FASCIA.
 - INSTALL NEW METAL FLASHING AT EXISTING STUCCO WALLS AND AT WALL MOUNTED LEDGER AT TRELLIS.
- AT REAR SIDE OF BUILDING, INSTALL NEW 3/8" FELT, METAL LATH AND STUCCO OVER EXISTING T-111 SIDING AND WOOD TRIM. FASTEN EXISTING T-111 SIDING WITH 8d RING SHANK NAILS AT 8" o.c., 4" o.c. AT CORNERS, PER FLORIDA BUILDING CODE - RESIDENTIAL, SECTION RA409.9.3 STORM SHEATHING.

GENERAL NOTES:

- VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK, WHERE NEEDED.
- THE CONTRACTOR SHALL LAY-OUT AND FIELD VERIFY ALL DIMENSIONS. CHECK THAT ROOMS ARE SQUARE AND WALLS ARE PLUMB, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR PROBLEMS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- PROVIDE ALL CUTTING AND PATCHING TO MATCH EXISTING AS REQUIRED BY THE WORK.

PARKING CALCULATIONS:

NOT APPLICABLE.

LANDSCAPE CALCULATIONS:

NOT APPLICABLE.

MEDERIOS ARCHITECTURAL GROUP, INC.
 ARCHITECTURE PLANNING INTERIOR DESIGN
 6405 NW 30 STREET, SUITE 124
 COCONUT CREEK, FLORIDA 33066
 TELEPHONE: (781) 334-7569
 FAX: (781) 334-7568
 CHARLES E. MEDERIOS, PRESIDENT, LEED AP
 AM 0012960, ID 0003037

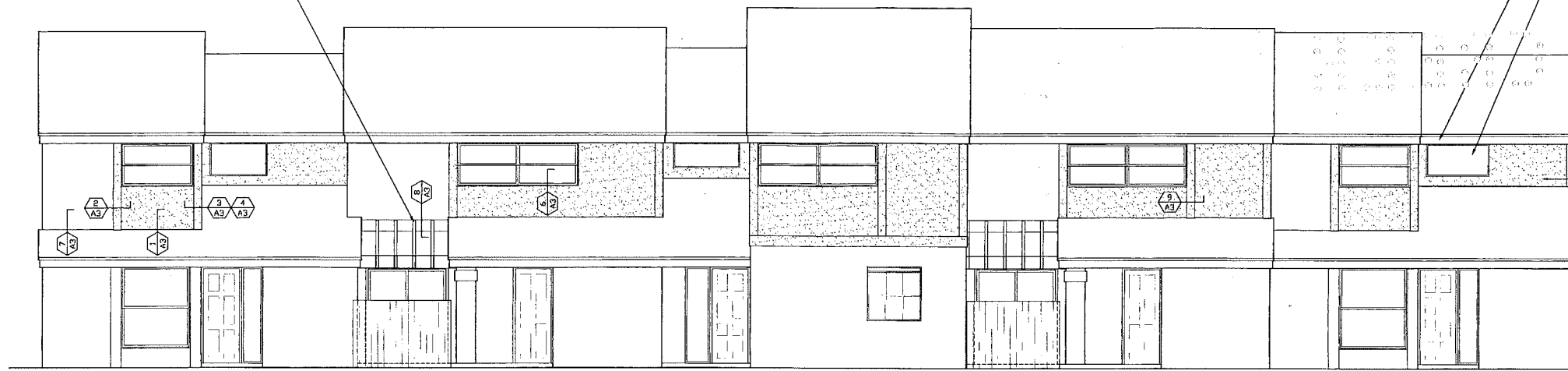
BUILDINGS REMODELING
 GOLDEN RAIN TREE ONE
 2551 - 2781 NW 42 AVENUE COCONUT CREEK, FLORIDA 33066
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JOB NO: 10-32
 DATE: 4/18/11
 DRAWN BY: JEM
 APPROVED: CEM

REVISIONS
 SHEET
A-1
 OF 3

All American Accordion Railing & Screen Inc.
 954-354-0587
 1421 SE 4th Ave.
 Deerfield Beach, FL 33441

TYPICAL WOOD TRELLIS TO REMAIN, PROTECT



TYPICAL 2x10 WOOD FASDA TO REMAIN, PROTECT. CONTRACTOR TO REMOVE/REPLACE 7" WAZZED SECTIONS OF FASDA TO MATCH, FLUSH AND ALIGN WITH EXISTING ADJACENT

TYPICAL WINDOW TO REMAIN, PROTECT

TYPICAL NEW STUCCO BAND TO MATCH SIZE OF REMOVED WOOD TRIM. TEXTURE TO MATCH THAT OF EXISTING STUCCO

TYPICAL NEW STUCCO FINISH, TEXTURE TO MATCH THAT OF EXISTING STUCCO

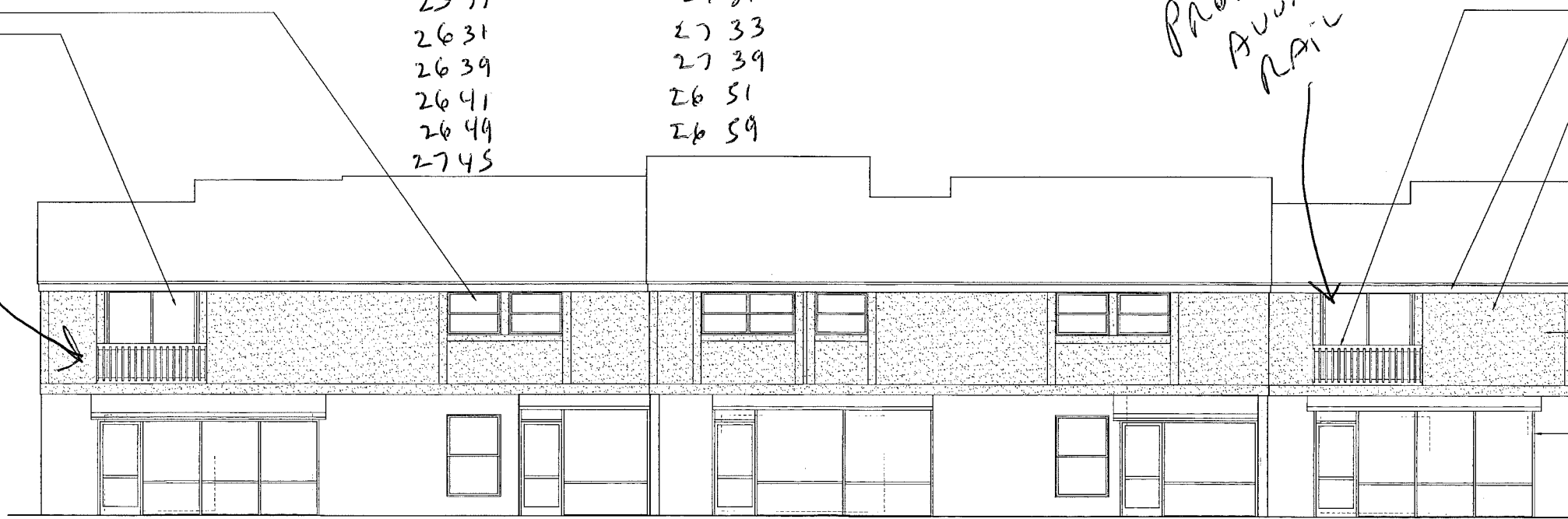
TYPICAL FINISH GRADE

NOTE:
ALL ITEMS SHOWN ARE EXISTING, EXCEPT AS NOTED
NOTE:
VERIFY ALL DIMENSIONS IN FIELD
NOTE:
PATCH/PAINT EXISTING FINISHES AS REQUIRED BY THE NEW WORK

TYPICAL FRONT ELEVATION - 5 UNIT BUILDING
SCALE: 1/4" = 1'-0"

UNITS -	UNITS
2553	2751
2554	2759
2563	2763
2571	2771
2577	2773
2577	2781
2631	2733
2639	2739
2641	2651
2649	2659
2745	

TYPICAL WINDOW TO REMAIN, PROTECT
TYPICAL SLIDING GLASS DOORS TO REMAIN, PROTECT



TYPICAL WOOD GUARDRAIL TO REMAIN, PROTECT. CONTRACTOR TO REMOVE/REPLACE DAMAGED SECTIONS OF FASDA TO MATCH, FLUSH AND ALIGN WITH EXISTING ADJACENT

NEW STUCCO ON METAL LATH ON JOG FELT OVER EXISTING T-111 SIDING AND WOOD TRIM, TYPICAL AT REAR SIDE (AT SECOND FLOOR ONLY) OF ALL ELEVATION (11) BUILDINGS

TYPICAL T-111 WOOD SIDING BEHIND TO REMAIN, PROTECT

TYPICAL WOOD TRIM BEHIND TO REMAIN, PROTECT

TYPICAL SCREENED ENCLOSURE TO REMAIN, PROTECT

TYPICAL FINISH GRADE

NOTE:
ALL ITEMS SHOWN ARE EXISTING, EXCEPT AS NOTED
NOTE:
VERIFY ALL DIMENSIONS IN FIELD
NOTE:
PATCH/PAINT EXISTING FINISHES AS REQUIRED BY THE NEW WORK
NOTE:
PRESSURE CLEAN / MILDREW TREAT EXISTING T-111 SIDING AND WOOD TRIM PRIOR TO INSTALLATION OF NEW STUCCO, METAL LATH AND FELT

TYPICAL REAR ELEVATION - 5 UNIT BUILDING
SCALE: 1/4" = 1'-0"

Proposed Aluminum RAIL

Proposed Aluminum RAIL

MEDEROS ARCHITECTURAL GROUP, INC.
ARCHITECTURE
INTERIOR DESIGN
PLANNING
CASE NO. 25 STREET, SUITE 104
MIAMI, FL 33136
TELEPHONE: (786) 314-7569
FAX: (786) 314-7569
CHARLES U. MEDEROS, PRESIDENT, LEED AP
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BUILDINGS REMODELING
GOLDEN RAIN TREE ONE
2551 - 2781 NW 42 AVENUE, COCONUT CREEK, FLORIDA 33066
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JOB NO: 10-32
DATE: 4/18/11
DRAWN BY: CDM
APPROVED: CDM

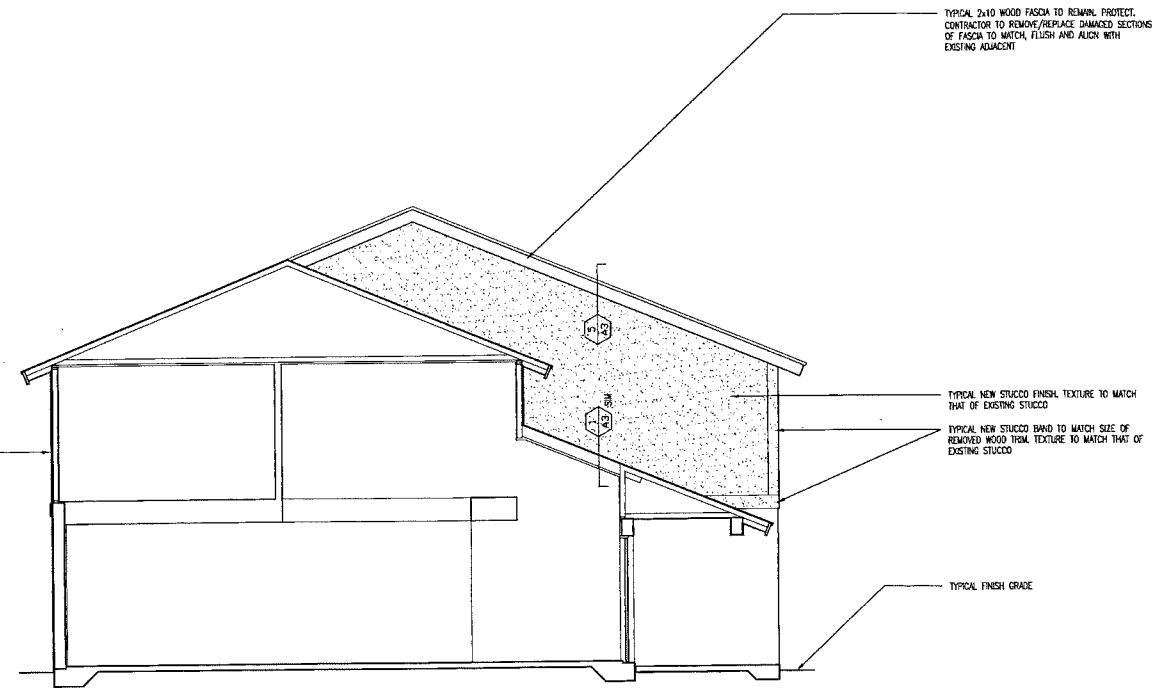
REVISIONS

SHEET
A-2
OF 3

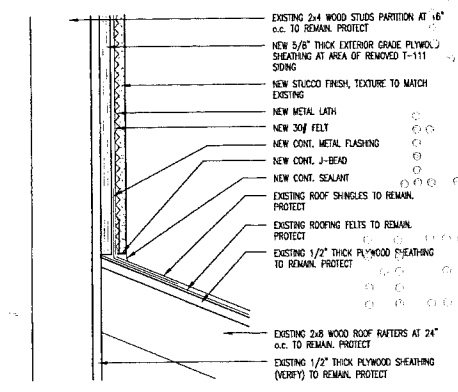
All American Accordion Railing & Screen Inc.
954-354-0507
1421 SE 4th Ave.
Deerfield Beach, FL 33441

NEW STUCCO ON METAL LATH ON 3/8" FELT OVER EXISTING T-111 SOING AND WOOD TRIM, TYPICAL AT REAR SIDE (AT SECOND FLOOR ONLY) OF ALL ELEVEN (11) BUILDINGS

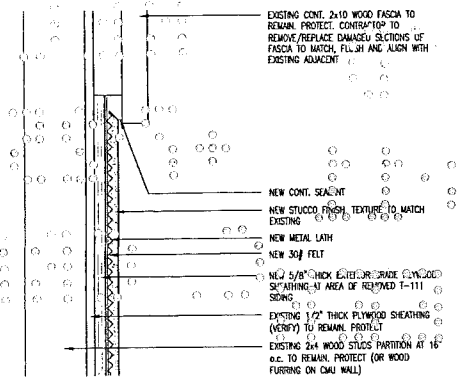
NOTE:
ALL ITEMS SHOWN ARE EXISTING, EXCEPT AS NOTED
NOTE:
VERIFY ALL DIMENSIONS IN FIELD
NOTE:
PATCH/PAIN EXISTING FINISHES AS REQUIRED BY THE NEW WORK
NOTE:
PRESSURE CLEAN / MILDEW TREAT EXISTING T-111 SOING AND WOOD TRIM PRIOR TO INSTALLATION OF NEW STUCCO, METAL LATH AND FELT



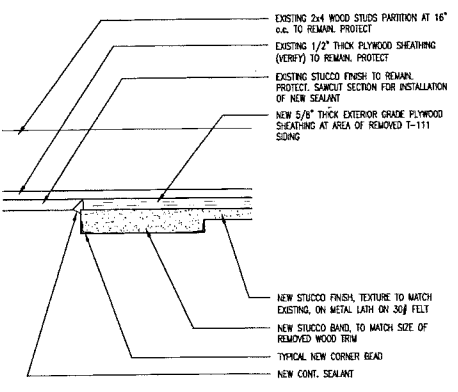
TYPICAL PARTIAL SIDE ELEVATION - 5 UNIT BUILDING
SCALE: 1/4" = 1'-0"



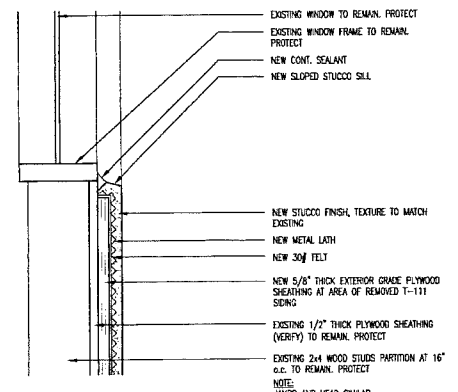
1 TYPICAL WALL/ROOF JOINT DETAIL
SCALE: 3/4" = 1'-0"



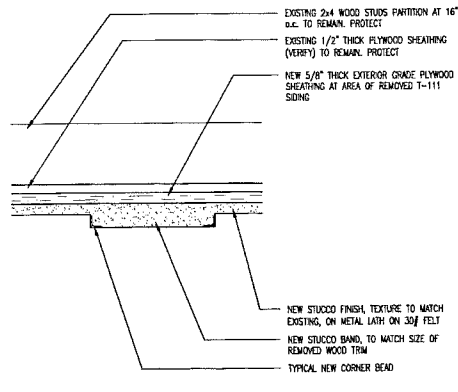
3 TYPICAL WALL/SOFFIT JOINT DETAIL
SCALE: 3/4" = 1'-0"



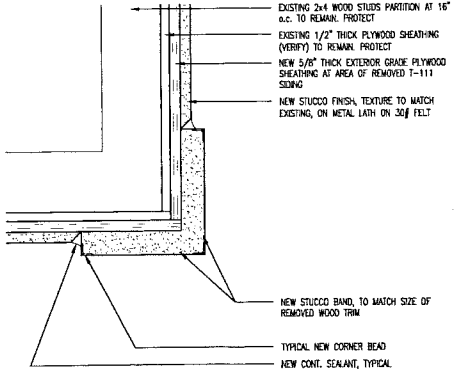
2 TYPICAL STUCCO BAND DETAIL
SCALE: 3/4" = 1'-0"



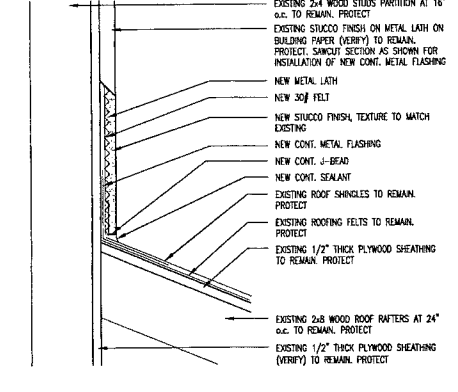
6 TYPICAL WINDOW REVEAL DETAIL
SCALE: 3/4" = 1'-0"



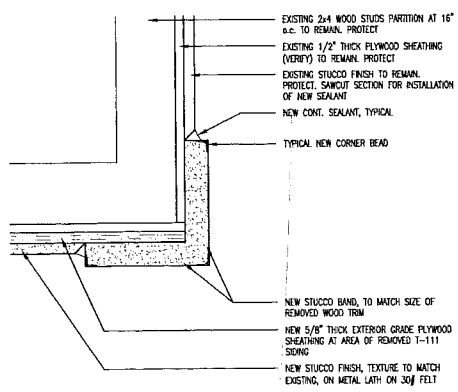
5 TYPICAL STUCCO BAND DETAIL
SCALE: 3/4" = 1'-0"



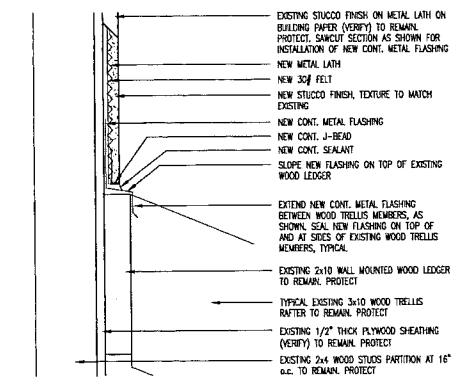
3 TYPICAL CORNER STUCCO BAND DETAIL
SCALE: 3/4" = 1'-0"



7 TYPICAL WALL/ROOF JOINT DETAIL
SCALE: 3/4" = 1'-0"

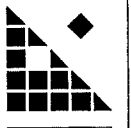


4 TYPICAL CORNER STUCCO BAND DETAIL
SCALE: 3/4" = 1'-0"



8 TYPICAL WALL LEDGER FLASHING DETAIL
SCALE: 3/4" = 1'-0"

MEDEROS ARCHITECTURAL GROUP, INC.
ARCHITECTURE PLANNING INTERIOR DESIGN
4405 NW 36 STREET, SUITE 124
A.A. 2600080
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F-WALL med@mederos.com
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CHARLES D. MEDEROS, PRESIDENT, LEED AP
P.E. 00136261, L.C. 000037



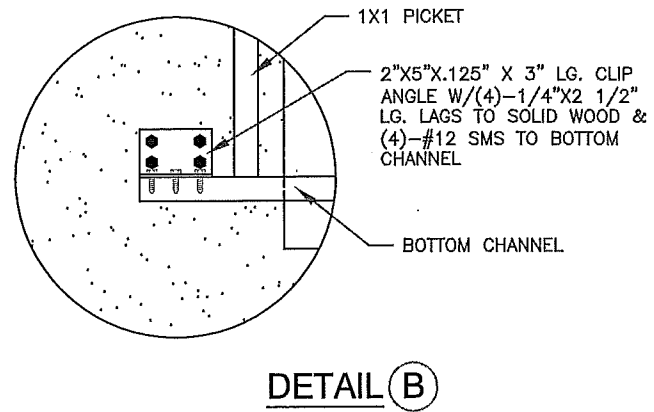
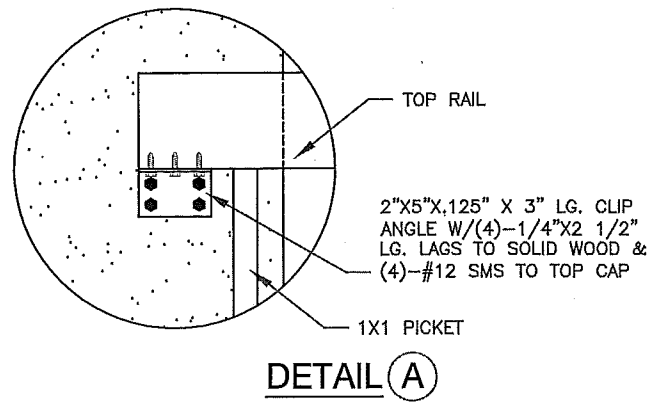
BUILDINGS REMODELING
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REVISIONS

SHEET
A-3
OF 3

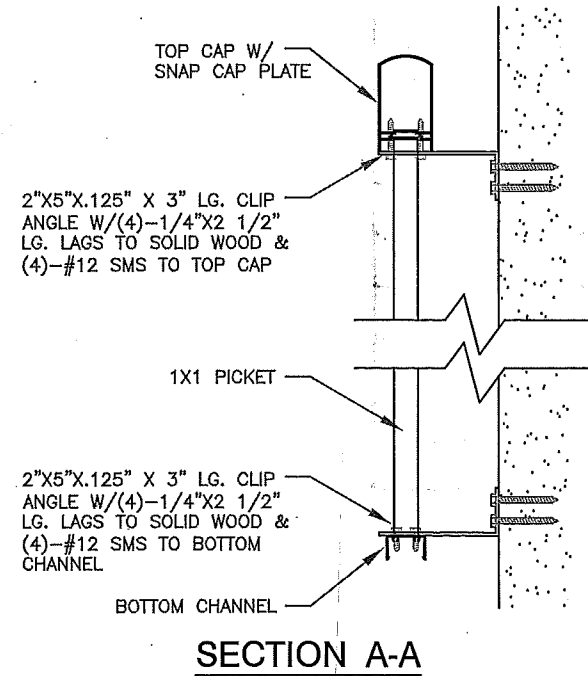
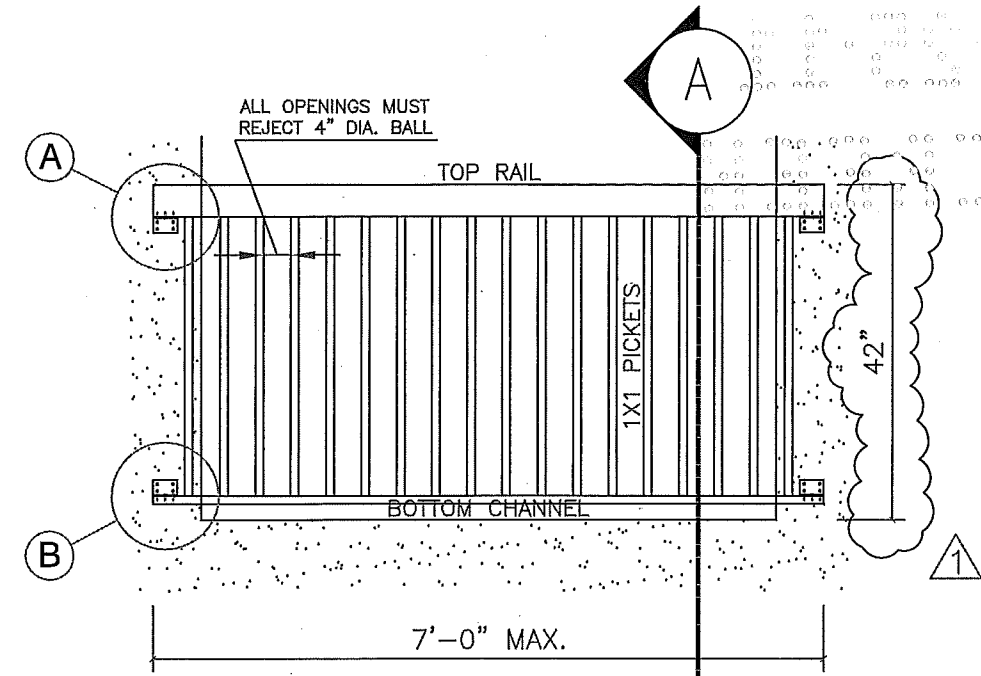
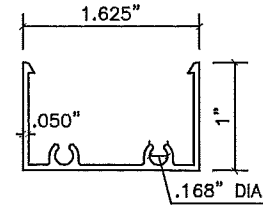
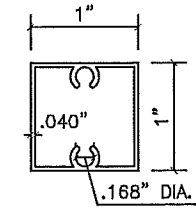
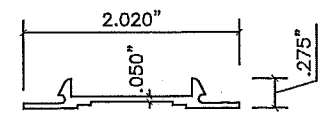
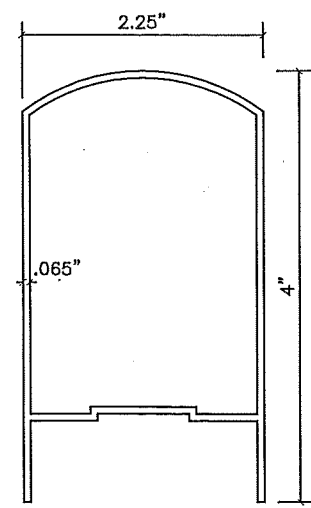
All American Accordion Railing & Screen Inc.
954-354-0507
1421 SE 4th Ave.
Deerfield Beach, FL 33441



NOTE:
GUARDRAIL IS DESIGNED TO RESIST A LOAD
OF 50PLF OR 200LB CONCENTRATED LOAD
APPLIED IN ANY DIRECTION AT THE TOP RAIL
AS PER FBC 1607.7.7.1 AND 1607.7.1.1

GENERAL NOTES:

1. THIS GUARD RAIL IS DESIGNED TO COMPLY W/ THE REQUIREMENTS OF THE SOUTH FLORIDA BUILDING CODE AND IS DESIGNED FOR USE UP TO 150 FEET UP ABOVE GRADE.
2. IT SHALL BE DETERMINED THAT THE EXIST. STRUCTURE CAN SAFELY SUPPORT A LOAD.
3. CONC. SHALL DEVELOP A MIN. COMPRESSIVE STRENGTH OF 2500 P.S.I. IN 28 DAYS
4. ALL ALUM. EXTRUSIONS SHALL BE OF ALLOY 6063 TEMPER T-6 UNLESS OTHERWISE NOTED.
5. ALL CONNECTIONS SHALL BE MADE W/ # 10 SHEET METAL SCREWS 1 1/2" LONG UNLES OTHERWISE NOTED
6. ALL OPENINGS IN THE GUARD RAIL MUST REJECT A 4" DIAMETER SPHERE



[Signature]
7/22/11

REVISED 07/22/11:
1 (BLDG. DEPT. COMMENTS) -W.T.F.
Engineering Business CA 0009677

1 THESE PLANS CONFORM TO THE FBC 2007 ED. HVHZ & ASCE 7-05
DESIGN BASED ON 140 MPH WINDS, EXPOSURE "C"

JOB #: 110661
DATE: 06/21/11
SCALE: N.T.S.
DRAWN BY: W.T.F.
CHECKED BY: *[Signature]*
SHEET NO. 1 OF 1

GUARD RAIL FOR:
GOLDEN RAIN TREE ONE
2651 N.W. 42ND AVE.
COCONUT CREEK, FL.

CONTRACTOR: ALL AMERICAN ACCORDIAN
RAILING & SCREEN, INC.

TARNOWSKI ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
7360 N.W. 5th Street
Plantation, FL 33317
Phone (954) 727 - 2027
Fax (954) 727 - 9644

C.T. "Gus" TARNOWSKI
P.E. # 50662