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CIVIL DRAWINGS

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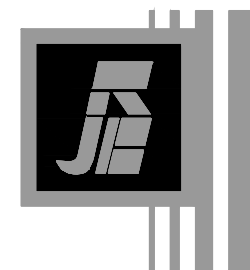
LANDSCAPE DRAWINGS

SHT. NO.	SHT. TITLE
1	LANDSCAPE PLAN



CITY OF COCONUT CREEK OVERFLOW PARKING LOT

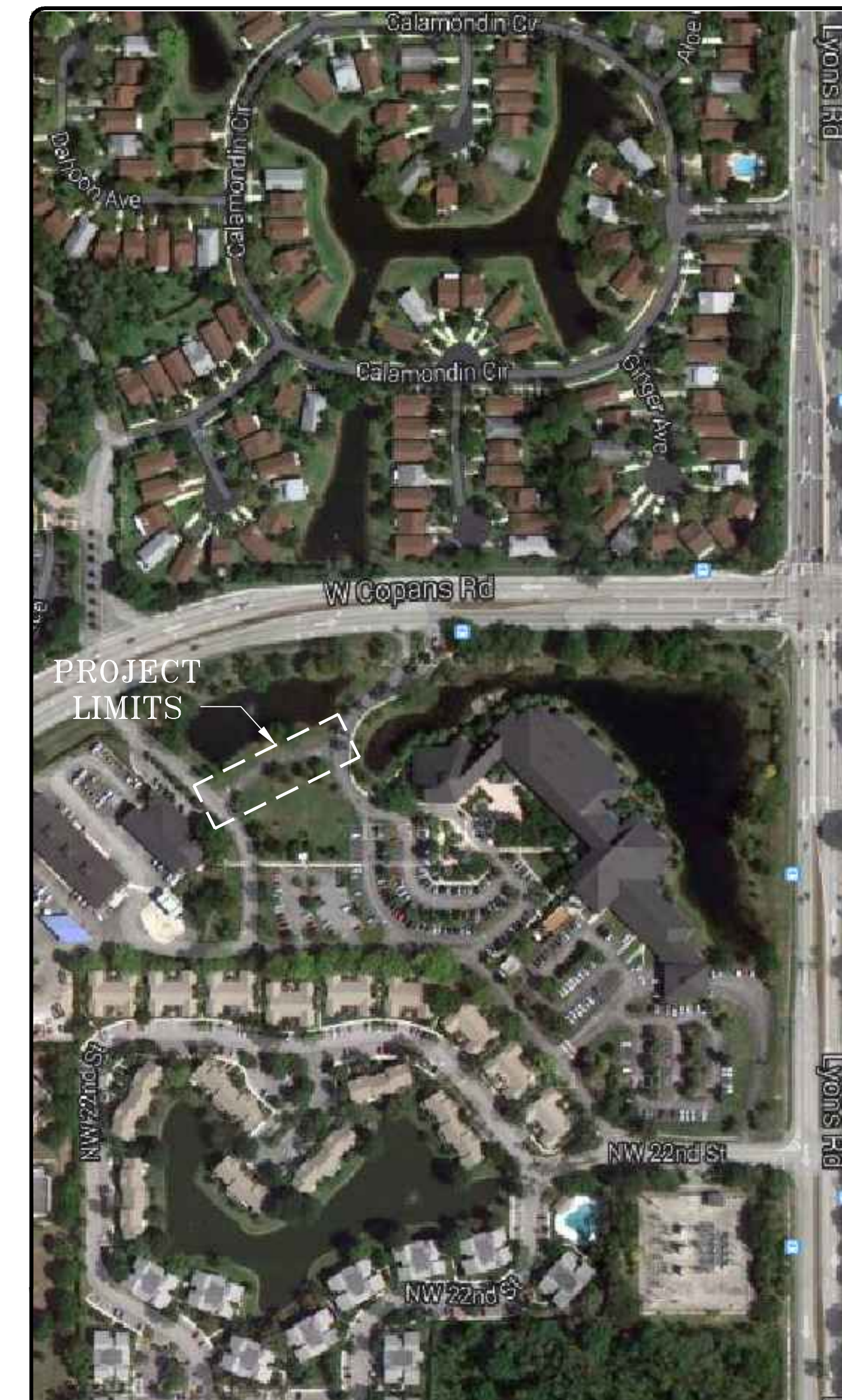
4800 WEST COPANS ROAD
COCONUT CREEK, FLORIDA 33063



R.J. Behar & Company, Inc.
Engineers • Planners

6861 S.W. 196th Avenue, Suite 302
Pembroke Pines, Florida · 33332
(954) 680-7771 · Fax: (954) 680-7781
JAVIER RODRIGUEZ, P.E. LICENSE NO. 48264
CERTIFICATE OF AUTHORIZATION NO. 00008365

REVISIONS				
NO.	DATE	BY	CHK'D	DESCRIPTION



LOCATION SKETCH (SCALE: N.T.S.)

CITY OF COCONUT CREEK
PUBLIC WORKS DEPARTMENT

CITY OF COCONUT CREEK COMMISSION

BECKY TOOLEY	MAYOR
LISA K. ARONSON	VICE MAYOR
LOU SARBONE	COMMISSIONER
MIKKIE BELVEDERE	COMMISSIONER
SANDRA L. WELCH	COMMISSIONER

PROJECT MANAGER: _____

JAVIER RODRIGUEZ, P.E.
LICENSE NO. 48264

DATE: 5/28/2014
SHEET NAME: COVER
R.J. BEHAR PROJECT No.: 13090

Coconut Creek - Overflow Parking

GENERAL NOTES:

I. APPLICABLE CODES

- A. ALL CONSTRUCTION WITHIN LIMITS OF PUBLIC RIGHTS OF WAY UNDER THE CITY OF COCONUT CREEK JURISDICTION SHALL CONFORM TO THE CITY OF COCONUT CREEK ENGINEERING DEPARTMENT MINIMUM STANDARDS, LATEST EDITION.
- B. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) SHALL BE STRICTLY OBSERVED.
- C. ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29). REFER TO SURVEY BY LONGITUDE SURVEYORS, FOR ADDITIONAL INFORMATION.

II. PRE-CONSTRUCTION RESPONSIBILITY

- A. THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND FAMILIARIZING THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO BIDDING.
- B. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE THE CITY OF COCONUT CREEK ENGINEERING DEPARTMENT, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD. UTILITY AGENCIES/OWNER IN THE AREA INCLUDE, BUT ARE NOT LIMITED TO:

UTILITY OWNERS	PHONE NO.
COMCAST CABLE	KEITH SHWIT 954-229-8386
FPL	ARNOLD COLINA 954-956-2028
FIBERLIGHT LLC	TROY GAETA 954-422-5618
CITY OF COCONUT CREEK	YUGAL LALL 954-973-6786
FPL FIBERNET LLC	DANNY HASKETT 305-552-2931
HOTWIRE COMMUNICATIONS	PHIL GALLUB 954-628-7022
LEVEL 3 COMMUNICATIONS	KELLY WHITEHEAD 720-888-4988
AT&T/DISTRIBUTION	OTIS KEEVE 954-723-2540
XO COMMUNICATIONS	TONY KOWALESKI 305-356-3160

- C. THE CONTRACTOR SHALL OBTAIN A "SUNSHINE ONE CALL" CERTIFICATION NUMBER AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING ANY EXCAVATION.
- D. ALL APPLICABLE PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- E. THE LOCATIONS AND ELEVATIONS OF UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES THAT ARE TO BE CROSSED OR THAT ARE IN CLOSE PROXIMITY OF THE PROPOSED WORK. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH THE CONTRACTOR FAILS TO REQUEST LOCATIONS FROM SUNSHINE ONE CALL. THE CONTRACTOR IS ALSO RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
- G. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY OF COCONUT CREEK.
- H. THE CONTRACTOR WILL VERIFY THE RESTRAINT OF EXISTING UTILITY LINES, AND SHALL RESTRAIN AS NECESSARY TO PREVENT BLOWOUTS, PRIOR TO CONNECTING TO EXISTING UTILITIES.

- I. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE CITY OF COCONUT CREEK PRIOR TO THE PLACEMENT AND STORAGE OF MATERIALS WITHIN THE PROJECT PROPERTY.
- J. IF DEWATERING IS NECESSARY, CONTRACTOR SHALL OBTAIN THE APPROPRIATE DEWATERING PERMIT FROM SPWMD PER SECTION 40E-20.302, F.A.C.

III. INSPECTIONS

THE CONTRACTOR SHALL NOTIFY THE CITY OF COCONUT CREEK ENGINEERING DEPARTMENT AND THE ENGINEER OF RECORD AND ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS, WHERE APPLICABLE:

- A. SUBGRADE: SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK
- B. LIMEROCK BASE: SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT
- C. ASPHALTIC CONCRETE
- D. EXCAVATION AND EMBANKMENT
- E. FINAL CLOSEOUT

IV. SHOP DRAWINGS

- A. PRIOR TO ISSUANCE OF A CONSTRUCTION PERMIT, CONTRACTOR REVIEWED AND APPROVED SHOP DRAWINGS SHALL BE SUBMITTED TO AND REVIEWED BY THE ENGINEER OF RECORD AND THE CITY OF COCONUT CREEK. CATALOG LITERATURE SHALL BE SUBMITTED WHERE APPLICABLE.
- B. INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. CATALOG LITERATURE WILL NOT BE ACCEPTED FOR PRECAST STRUCTURES.
- C. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVAL, IF REQUIRED.

V. CONSTRUCTION RESPONSIBILITIES

- A. GENERAL
 - 1. THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEPED BROOM CLEAN.
 - 2. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER, WATER COURSES, GRAVITY SEWER, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
 - 3. WHEN WORKING IN AND AROUND EXISTING DRAINAGE CANALS, APPROPRIATE SILT BARRIERS SHALL BE INSTALLED AS REQUIRED BY LOCAL DRAINAGE DISTRICT AND BROWARD COUNTY DEVELOPMENT AND ENVIRONMENTAL REGULATION DIVISION (BCDER).
 - 4. THE CONTRACTOR SHALL USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.

B. TEMPORARY UTILITIES

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO CONTRACTOR'S EMPLOYEES AND SUBCONTRACTORS FOR THEIR USE DURING CONSTRUCTION.
- 2. CONTRACTOR SHALL OBTAIN CONSTRUCTION METER FOR ALL WATER USED ON JOB. ALL WATER USED FOR CLEANING, TESTING, ETC., WILL BE PAID FOR BY THE CONTRACTOR. IF WATER CANNOT BE METERED THEN IT WILL BE CALCULATED.

C. TRAFFIC REGULATION

- 1. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE M.U.T.C.D. AND BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (B.C.T.E.D.) AND SUBMITTED TO THE CITY OF COCONUT CREEK ENGINEERING DEPARTMENT.
- 2. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- 3. NO TRENCHES OR HOLES NEAR WALKWAYS OR IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION OF THE CITY OF COCONUT CREEK.

D. TRENCH SAFETY

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE TRENCH SAFETY SYSTEMS, SUCH AS SHEETING AND BRACING, IN ACCORDANCE WITH STATE, LOCAL AND OSHA REGULATIONS.

E. CONFINED SPACE SAFETY

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A CONFINED SPACE ENTRY SAFETY SYSTEM IN ACCORDANCE WITH STATE, LOCAL AND/OR OSHA REGULATIONS.

F. WATER AND SEWER GENERAL NOTES

- 1. SEPARATION OF WATER AND SEWER MAINS:
 - a. PARALLEL WATER AND SEWER MAINS SHALL HAVE A MINIMUM 10 FEET HORIZONTAL SEPARATION. WHERE THIS IS NOT POSSIBLE, THE SEWER MAIN SHALL BE IN A SEPARATE TRENCH AND BE AT LEAST 18 INCHES BELOW THE WATER MAIN OR BOTH MAINS SHALL BE DUCTILE IRON WITH A MINIMUM 12-INCH CLEARANCE, PER PRESSURE PIPE SPECIFICATIONS.
 - b. THE SEWER MAIN SHALL CROSS BELOW ALL WATER MAINS WITH A MINIMUM OF 18 INCHES VERTICAL CLEARANCE. WHERE THE CLEARANCE IS LESS THAN 18 INCHES, THE SEWER MAIN AND THE WATER MAIN SHALL BE DUCTILE IRON PIPE WITH A MINIMUM 12-INCH CLEARANCE FOR 20 FEET CENTERED ON THE POINT OF CROSSING. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING SHALL BE MECHANICALLY RESTRAINED.
 - c. IF A SEWER MAIN MUST CROSS ABOVE A WATER MAIN, REGARDLESS OF VERTICAL CLEARANCE, THE PRECAUTION IN ITEM V.F.1.b. (ABOVE) SHALL BE TAKEN.
 - d. MINIMUM CLEARANCE BETWEEN WATER MAINS AND DRAINAGE STRUCTURES SHALL BE 18 INCHES UNLESS OTHERWISE APPROVED BY TOWN OF DAVIE ENGINEERING, AND MAXIMUM DEFLECTION PER EACH JOINT IS TWO (2) DEGREES WHERE DEFLECTION IS REQUIRED.
 - e. A THREE (3) FOOT LATERAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER/SEWER LINES AND OBSTRUCTIONS (I.E. CATCH BASINS, CONCRETE POLES, ETC.), FIVE (5) FEET FROM TREES.
- 1. ALL EFFORTS SHALL BE MADE SO THAT WATER AND FORCE MAINS CROSS ABOVE DRAINAGE LINES WITH ADEQUATE COVER AND SEPARATION. IF THIS IS NOT POSSIBLE, CONFLICT MANHOLES SHALL BE USED IF NECESSARY AND SHALL BE INDICATED ON THE PLANS.
- 9. ALL EFFORTS SHALL BE MADE SO THAT WATER AND FORCE MAINS CROSS ABOVE DRAINAGE LINES WITH ADEQUATE COVER AND SEPARATION. IF THIS IS NOT POSSIBLE, IT SHALL BE INDICATED ON THE PLANS.

2. CLEANING
CLEANING OF NEWLY INSTALLED PIPING SYSTEMS SHALL BE ACCOMPLISHED USING PIPE PIGGING METHODS. OPEN FLUSHINGS SHALL NOT BE ALLOWED WITHOUT PRIOR APPROVAL OF THE UTILITIES DEPARTMENT. ALL WATER WILL BE ACCOUNTED FOR AND A 48-HOUR NOTICE NEEDS TO BE GIVEN TO THE TOWN OF DAVIE UTILITIES DEPARTMENT. OPTIMAL RUN TIME IS BETWEEN 10:00 AM - 12:00 PM.

3. BACKFILL

BEDDING AND INITIAL BACKFILL FOR WATER AND FORCE MAINS SHALL BE ¼ INCH WASHED ROCK. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 4 INCHES IN DIAMETER.

VI. PROJECT CLOSEOUT

- A. CLEANING UP
THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE ENGINEER OF RECORD OR THE CITY OF COCONUT CREEK, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY CONTRACTOR'S WORK, EQUIPMENT, EMPLOYEES OR THOSE OF CONTRACTOR'S SUBCONTRACTORS TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THIS END, THE CONTRACTOR SHALL DO AS REQUIRED: ALL NECESSARY HIGHWAY OR DRIVEWAY, SIDEWALK AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.

B. PROJECT RECORD DOCUMENTS

- 1. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF ALL WORK ITEMS COMPLETED.
- 2. ALL "AS-BUILT" INFORMATION SUBMITTED TO THE ENGINEER OF RECORD SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER OF RECORD THAT THE INFORMATION PROVIDED A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
- 3. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF "AS-BUILT" CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS AND SHALL BE SIGNED BY THE CONTRACTOR.
- 4. ALL "AS-BUILT" INFORMATION ON ELEVATIONS OF SANITARY SEWAGE, PAVING, DRAINAGE AND UTILITY EASEMENT SHALL BE CERTIFIED BY A REGISTERED SURVEYOR AND MAPPER.
- 5. "AS-BUILT" INFORMATION ON THE UTILITY SYSTEM SHALL INCLUDE, BUT IS NOT LIMITED TO LOCATIONS OF ALL VALVES, FITTINGS, FIRE HYDRANTS, WATER AND SEWER SERVICES, TAP AND END, ANY PIPE DEFLECTIONS AND TOP-OF-PIPE ELEVATION ON 100-FOOT INTERVALS AT A MINIMUM.

EROSION CONTROL NOTES:

1. SITE DESCRIPTION

- 1.A. NATURE OF CONSTRUCTION ACTIVITY:
CONSTRUCTION OF AN OVERFLOW PARKING LOT
- PROJECT LIMITS:
THE PROJECT IS LOCATED AT 4800 WEST COPANS ROAD, COCONUT CREEK, FLORIDA 33063
- PROJECT DESCRIPTION:
THE PROJECT INVOLVES THE CONSTRUCTION OF AN OVERFLOW PARKING LOT. THE MAIN ITEMS TO BE ADDRESSED INCLUDE:

- 1. CONSTRUCTION OF ASPHALT PAVEMENT FOR ADDITIONAL PARKING SPACES AND SIDEWALK.
- 1.B. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:
MOST OF THE SOIL DISTURBANCE WILL BE AS A CONSEQUENCE OF CLEARING AND GRUBBING ACTIVITIES. THE CONTRACTOR SHALL PROVIDE A DETAILED SEQUENCE OF CONSTRUCTION FOR ALL CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF MAJOR ACTIVITIES DESCRIBED BELOW, UNLESS THE CONTRACTOR PROPOSES A DIFFERENT SEQUENCE THAT IS EQUAL TO OR BETTER AT CONTROLLING EROSION AND TRAPPING SEDIMENT AND IS APPROVED BY THE ENGINEER.
- INSTALL PERIMETER CONTROLS AFTER CLEARING AND GRUBBING NECESSARY FOR INSTALLATION OF CONTROLS BUT BEFORE BEGINNING OTHER WORK FOR THE CONSTRUCTION PHASE. REMOVE PERIMETER CONTROLS ONLY AFTER ALL UPSTREAM AREAS ARE STABILIZED.
- 1. CLEARING AND GRUBBING, AND EARTHWORK.
- 2. CONSTRUCTION AND INSTALLATION OF PAVEMENT AND LANDSCAPING.

1.C. OUTFALL INFORMATION:

- LOCATION: EXISTING INLET WITHIN PARKING LOT.
- RECEIVING WATER BODY: EXISTING ON-SITE LAKE.
- THE CONSTRUCTION PLANS ARE BEING USED AS THE SITE MAPS. THE LOCATION OF THE REQUIRED INFORMATION IS DESCRIBED BELOW:
- 1. AREAS OF SOIL DISTURBANCE - PROPOSED PAVED AND SIDEWALK AREAS.
- 2. AREAS NOT TO BE DISTURBED - EXISTING PAVED AREAS OUTSIDE OF LIMITS OF PROPOSED IMPROVEMENTS SHALL REMAIN. GRASS COVERED AREAS WILL BE UNDISTURBED AS MUCH AS POSSIBLE. EXISTING TREES AND APPURTENANCES SHALL REMAIN AND BE PROTECTED IN PLACE, EXCEPT AS NOTED.
- 3. LOCATIONS OF TEMPORARY CONTROLS - THESE SHALL BE PLACED IN KEEPING WITH NORMAL SECTION 2.A.1. AND 2.A.2. THE CONTRACTOR SHALL HAVE A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN ON-SITE.
- 4. LOCATIONS OF PERMANENT CONTROLS - N/A
- 5. AREAS TO BE STABILIZED - PROPOSED PARKING AREAS, PROPOSED SIDEWALKS AND SOD AREAS REQUIRED FOR TYING TO EXISTING GRADES AS NOTED ON PLANS.
- 6. THE PROJECT SITE SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER ANY MAJOR STORM EVENT. ANY DEFICIENCIES NOTED SHALL BE REPAIRED WITHIN 24 HRS.
- 7. SURFACE WATERS - EXISTING ON-SITE LAKE
- 8. DISCHARGE POINTS TO SURFACE WATERS - EXISTING HEADWALS SHALL HAVE TURBIDITY BARRIERS IN PLACE DURING CONSTRUCTION.

2. CONTROLS

- 2.A. EROSION AND SEDIMENT CONTROLS:
TO MINIMIZE THE IMPACT OF SOIL DISTURBANCE ACTIVITIES, THE FOLLOWING IS PROPOSED:
- 1. PLACE SILT FENCES AROUND THE PERIMETER OF THE AREA, TO PREVENT SILT AND DEBRIS FROM LEAVING THE SITE.
- 2. PROTECT AREAS NOT DISTURBED.
- 3. SOD.
- 2.A.1. STABILIZATION PRACTICES:
THE CONTRACTOR SHALL DESCRIBE THE STABILIZATION PRACTICE PROPOSED TO CONTROL EROSION. THE CONTRACTOR SHALL INITIATE ALL STABILIZATION MEASURES AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS, IN PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. THE STABILIZATION PRACTICES SHALL INCLUDE AT LEAST THE FOLLOWING, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- TEMPORARY:
- 1. ARTIFICIAL COVERINGS IN ACCORDANCE WITH SPECIFICATION SECTION 104.
- 2. SEED AND MULCH, AND SOD IN ACCORDANCE WITH SPECIFICATION SECTION 104.
- PERMANENT:
- 1. ASPHALT OR CONCRETE SURFACE.
- 2. SOD IN ACCORDANCE WITH SPECIFICATION SECTION 575.
- 2.A.2. STRUCTURAL PRACTICES:
THE CONTRACTOR SHALL DESCRIBE THE PROPOSED STRUCTURAL PRACTICES TO CONTROL OR TRAP SEDIMENT AND OTHERWISE PREVENT THE DISCHARGE OF POLLUTANT FROM EXPOSED AREAS OF THE SITE. SEDIMENT CONTROLS SHALL BE IN PLACE BEFORE DISTURBING SOIL UPSTREAM OF THE CONTROL. THE STRUCTURAL PRACTICES SHALL INCLUDE AT LEAST THE FOLLOWING, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- TEMPORARY:
- 1. SILT FENCE IN ACCORDANCE WITH DESIGN STANDARD 102 AND SPECIFICATION SECTION 104.
- 2. INLET PROTECTION IN ACCORDANCE WITH FOOT DESIGN STANDARD 102.
- PERMANENT:
- 1. SOD.
- 2.B. STORM WATER MANAGEMENT:
THE PROJECT WILL COLLECT THE RUNOFF THROUGH THE PROPOSED STORWATER MANAGEMENT SYSTEM (INCLUDES RETENTION PONDS AND CONCRETE STRUCTURES).
- 2.C. OTHER CONTROLS:
- 2.C.1. WASTE DISPOSAL:
THE CONTRACTOR SHALL DESCRIBE THE PROPOSED METHODS TO PREVENT THE DISCHARGE OF SOLID MATERIALS TO WATERS OF THE UNITED STATES. THE PROPOSED METHODS SHALL INCLUDE AT LEAST THE FOLLOWING, UNLESS OTHERWISE APPROVED BY THE ENGINEER.:
- 1. PROVIDING LITTER CONTROL AND COLLECTION WITHIN THE PROJECT DURING CONSTRUCTION ACTIVITIES.
- 2. DISPOSING OF ALL FERTILIZER OR OTHER CHEMICAL CONTAINERS ACCORDING TO EPA'S STANDARD PRACTICES AS DETAILED BY THE MANUFACTURER.



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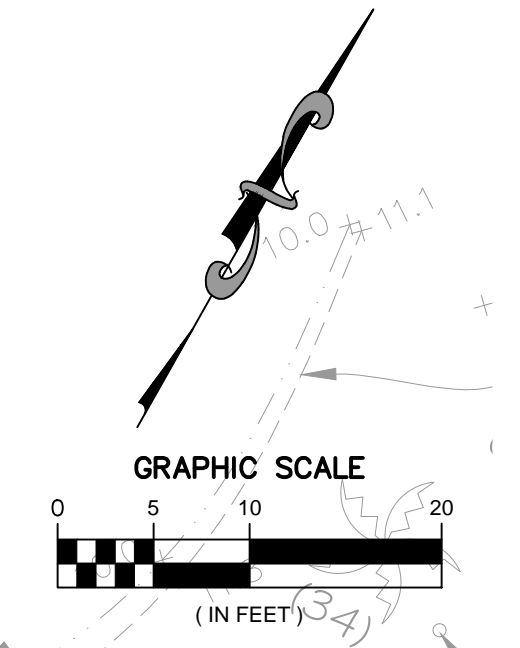
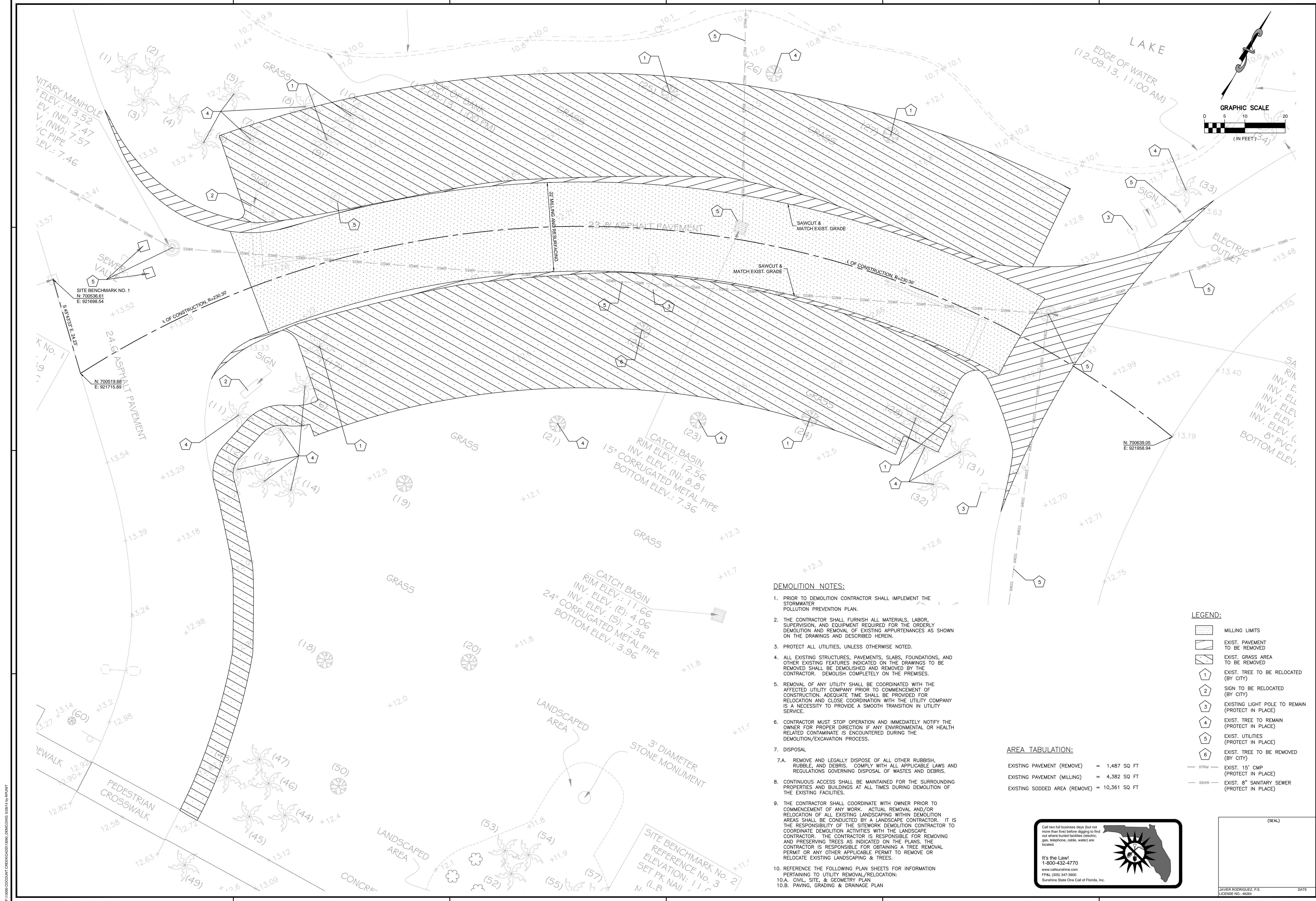
CITY OF COCONUT CREEK
PUBLIC SERVICES & EOC BUILDING - OVERFLOW PARKING
4800 W. COPANS ROAD, COCONUT CREEK, FL 33063
100% CONSTRUCTION PLANS

RJB Proj. No: 13090		
Date:	05-28-2014	
DESIGN:	DRAWN:	CHECK:
RP	HS	JR
REVISIONS:		

SHEET NAME:
GENERAL NOTES & SPECIFICATIONS

NTS-1
SHEET 2 OF 7

(SEAL)
JAVIER RODRIGUEZ, P.E.
LICENSE NO. 4834



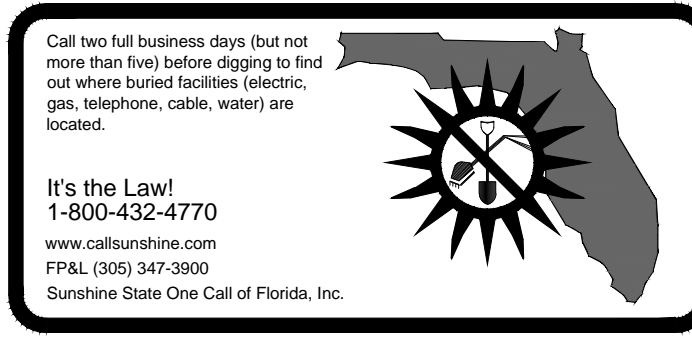
- DEMOLITION NOTES:**
1. PRIOR TO DEMOLITION CONTRACTOR SHALL IMPLEMENT THE STORMWATER POLLUTION PREVENTION PLAN.
 2. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING APPURTENANCES AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
 3. PROTECT ALL UTILITIES, UNLESS OTHERWISE NOTED.
 4. ALL EXISTING STRUCTURES, PAVEMENTS, SLABS, FOUNDATIONS, AND OTHER EXISTING FEATURES INDICATED ON THE DRAWINGS TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE CONTRACTOR. DEMOLISH COMPLETELY ON THE PREMISES.
 5. REMOVAL OF ANY UTILITY SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY PRIOR TO COMMENCEMENT OF CONSTRUCTION. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS A NECESSITY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
 6. CONTRACTOR MUST STOP OPERATION AND IMMEDIATELY NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING THE DEMOLITION/EXCAVATION PROCESS.
 7. DISPOSAL
 - 7.A. REMOVE AND LEGALLY DISPOSE OF ALL OTHER RUBBISH, RUBBLE, AND DEBRIS. COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING DISPOSAL OF WASTES AND DEBRIS.
 8. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AND BUILDINGS AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
 9. THE CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO COMMENCEMENT OF ANY WORK. ACTUAL REMOVAL AND/OR RELOCATION OF ALL EXISTING LANDSCAPING WITHIN DEMOLITION AREAS SHALL BE CONDUCTED BY A LANDSCAPE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE SITESWORK DEMOLITION CONTRACTOR TO COORDINATE DEMOLITION ACTIVITIES WITH THE LANDSCAPE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND PRESERVING TREES AS INDICATED ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TREE REMOVAL PERMIT OR ANY OTHER APPLICABLE PERMIT TO REMOVE OR RELOCATE EXISTING LANDSCAPING & TREES.
 10. REFERENCE THE FOLLOWING PLAN SHEETS FOR INFORMATION PERTAINING TO UTILITY REMOVAL/RELOCATION:
 - 10.A. CIVIL, SITE, & GEOMETRY PLAN
 - 10.B. PAVING, GRADING & DRAINAGE PLAN

AREA TABULATION:

EXISTING PAVEMENT (REMOVE)	=	1,487 SQ FT
EXISTING PAVEMENT (MILLING)	=	4,382 SQ FT
EXISTING SODDED AREA (REMOVE)	=	10,361 SQ FT

LEGEND:

	MILLING LIMITS
	EXIST. PAVEMENT TO BE REMOVED
	EXIST. GRASS AREA TO BE REMOVED
	EXIST. TREE TO BE RELOCATED (BY CITY)
	SIGN TO BE RELOCATED (BY CITY)
	EXISTING LIGHT POLE TO REMAIN (PROTECT IN PLACE)
	EXIST. TREE TO REMAIN (PROTECT IN PLACE)
	EXIST. UTILITIES (PROTECT IN PLACE)
	EXIST. TREE TO BE REMOVED (BY CITY)
	EXIST. 15' CMP (PROTECT IN PLACE)
	EXIST. 8" SANITARY SEWER (PROTECT IN PLACE)



R.J.Behar & Company, Inc.
 Engineers • Planners

CERTIFICATE OF REGISTRATION NO. 00006862
 www.rjbehar.com

DESIGN OFFICE LOCATION: 8861 S.W. 198TH AVE., SUITE 302, PEMBROKE PINES, FL 33332, PH: 954-680-7771, FAX: 954-680-7781

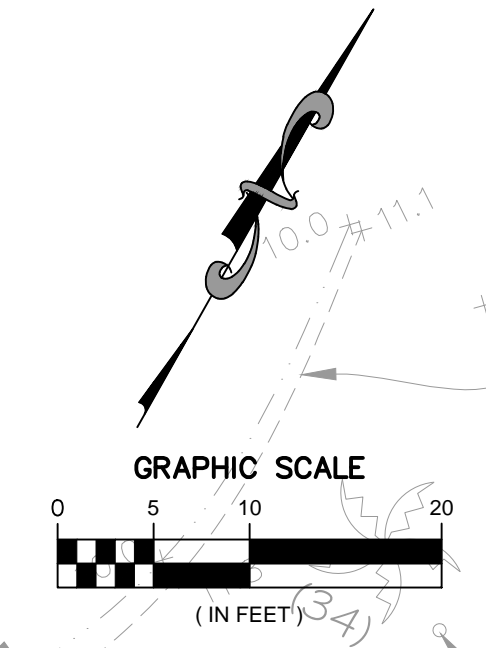
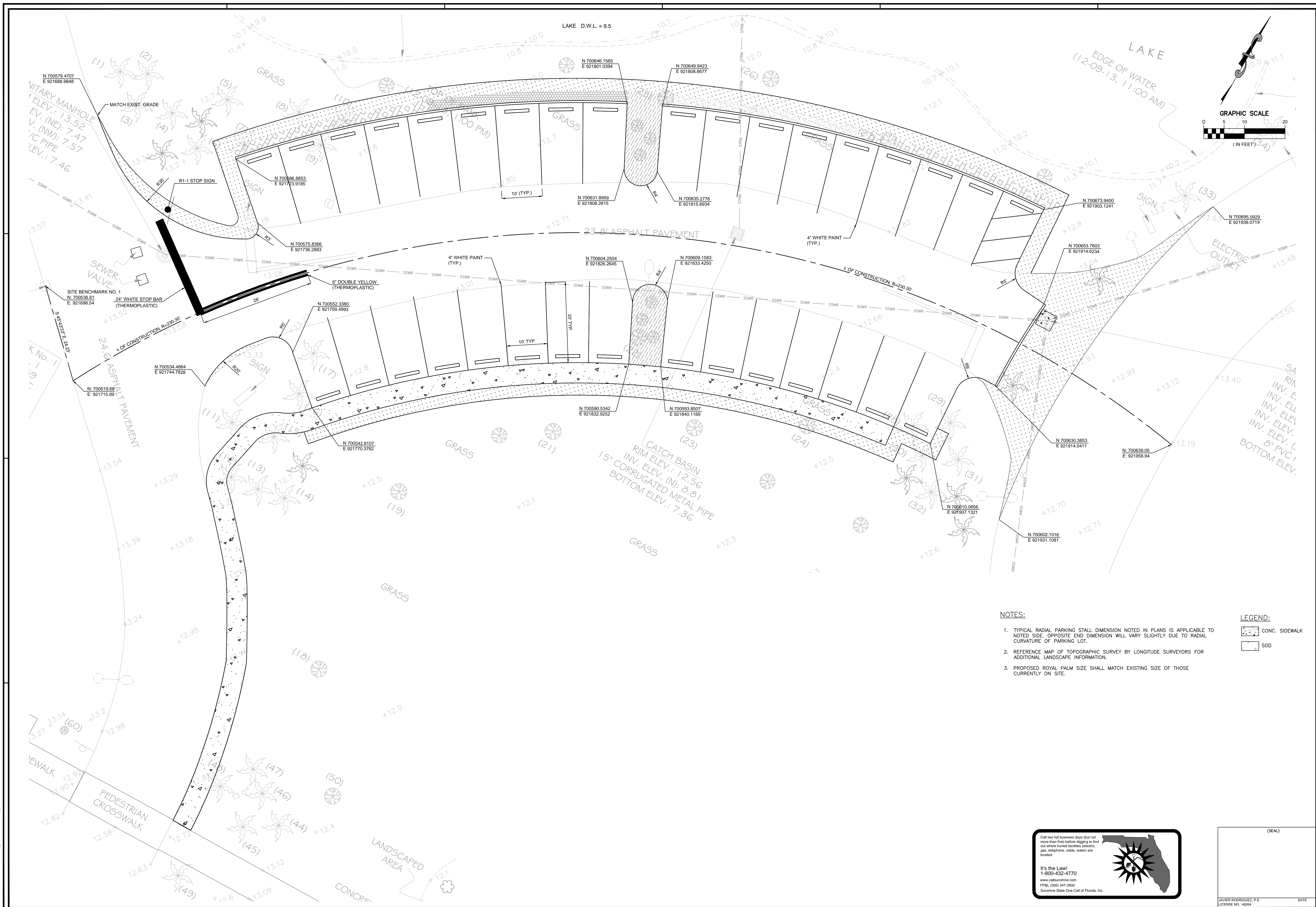
CITY OF COCONUT CREEK
 PUBLIC SERVICES & EOC BUILDING - OVERFLOW PARKING
 4800 W. COPANS ROAD, COCONUT CREEK, FL 33063
 100% CONSTRUCTION PLANS

Proj. No: 13090
 Date: 05-28-2014
 DESIGN: RP DRAWN: HS CHECK: JR
 REVISIONS:

SHEET NAME:
DEMOLITION PLAN

DEMO-1
 SHEET 3 OF 7

P:\13090 COCONUT CREEK\4800 COPANS DEMO.DWG 2/20/14 9:41 AM



- NOTES:**
1. TYPICAL RADIAL PARKING STALL DIMENSION NOTED IN PLANS IS APPLICABLE TO NOTED SIDE. OPPOSITE END DIMENSION WILL VARY SLIGHTLY DUE TO RADIAL CURVATURE OF PARKING LOT.
 2. REFERENCE MAP OF TOPOGRAPHIC SURVEY BY LONGITUDE SURVEYORS FOR ADDITIONAL LANDSCAPE INFORMATION.
 3. PROPOSED ROYAL PALM SIZE SHALL MATCH EXISTING SIZE OF THOSE CURRENTLY ON SITE.

- LEGEND:**
- CONC. SIDEWALK
 - SOD



(SEAL)

JAVIER RODRIGUEZ, P.E.
LICENSE NO. 4834

DATE

R.J. Behar & Company, Inc.
Engineers • Planners

CERTIFICATE OF REGISTRATION NO. 00006862
www.rjbehar.com

DESIGN OFFICE LOCATION: 8861 S.W. 198TH AVE., SUITE 302, PEMBROKE PINES, FL 33332, PH: 954-680-7771, FAX: 954-680-7781

CITY OF COCONUT CREEK
PUBLIC SERVICES & EOC BUILDING - OVERFLOW PARKING
4800 W. COPANS ROAD, COCONUT CREEK, FL 33063
100% CONSTRUCTION PLANS

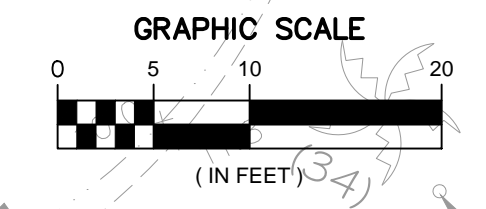
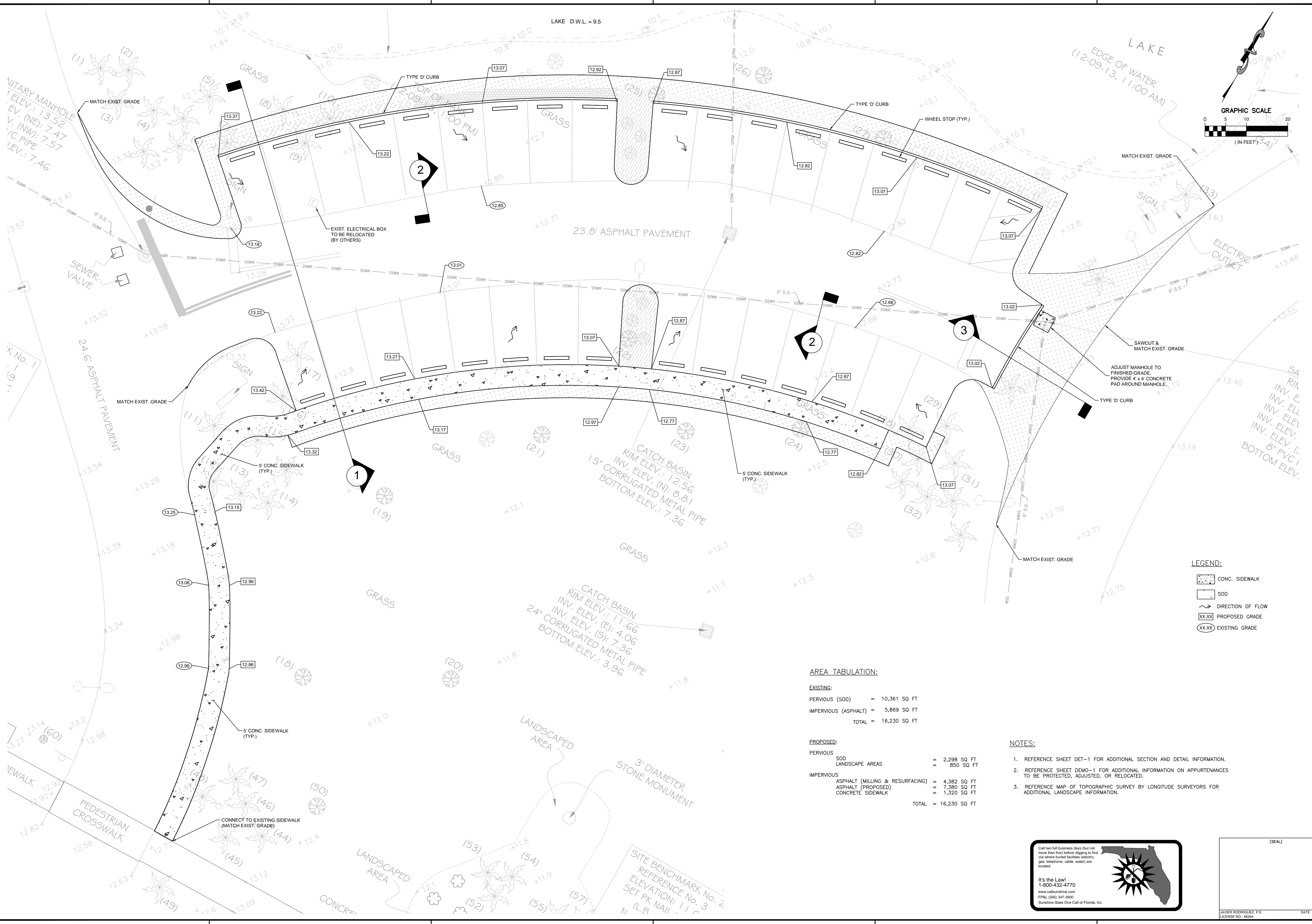
RJB Proj. No:	13090
Date:	05-28-2014
DESIGN:	RP
DRAWN:	HS
CHECK:	JR

REVISIONS:

SHEET NAME:
CIVIL SITE & GEOMETRY PLAN

CSGP-1
SHEET 4 OF 7

P:\13090 COCONUT CREEK\ADD\33063_CSGP.DWG 05/28/14 by RP/INT



LEGEND:

	CONC. SIDEWALK
	SOD
	DIRECTION OF FLOW
	PROPOSED GRADE
	EXISTING GRADE

AREA TABULATION:

EXISTING:

PERVIOUS (SOD)	=	10,361 SQ FT
IMPERVIOUS (ASPHALT)	=	5,869 SQ FT
TOTAL	=	16,230 SQ FT

PROPOSED:

PERVIOUS		
SOD	=	2,298 SQ FT
LANDSCAPE AREAS	=	850 SQ FT
IMPERVIOUS		
ASPHALT (MILLING & RESURFACING)	=	4,382 SQ FT
ASPHALT (PROPOSED)	=	7,380 SQ FT
CONCRETE SIDEWALK	=	1,320 SQ FT
TOTAL	=	16,230 SQ FT

- NOTES:**
1. REFERENCE SHEET DET-1 FOR ADDITIONAL SECTION AND DETAIL INFORMATION.
 2. REFERENCE SHEET DEMO-1 FOR ADDITIONAL INFORMATION ON APPURTENANCES TO BE PROTECTED, ADJUSTED, OR RELOCATED.
 3. REFERENCE MAP OF TOPOGRAPHIC SURVEY BY LONGITUDE SURVEYORS FOR ADDITIONAL LANDSCAPE INFORMATION.

Call two full business days (but not more than five) before digging to find out where buried facilities (electric, gas, telephone, cable, water) are located.

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FPAL (201) 347-3900
Sunshine State One Call of Florida, Inc.

(SEAL)

JAVIER RODRIGUEZ, P.E.
LICENSE NO. 48384

DATE

R.J.Behar & Company, Inc.
Engineers • Planners

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PUBLIC SERVICES & EOC BUILDING - OVERFLOW PARKING
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RPJ Proj. No: 13090

Date: 05-28-2014

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REVISIONS:

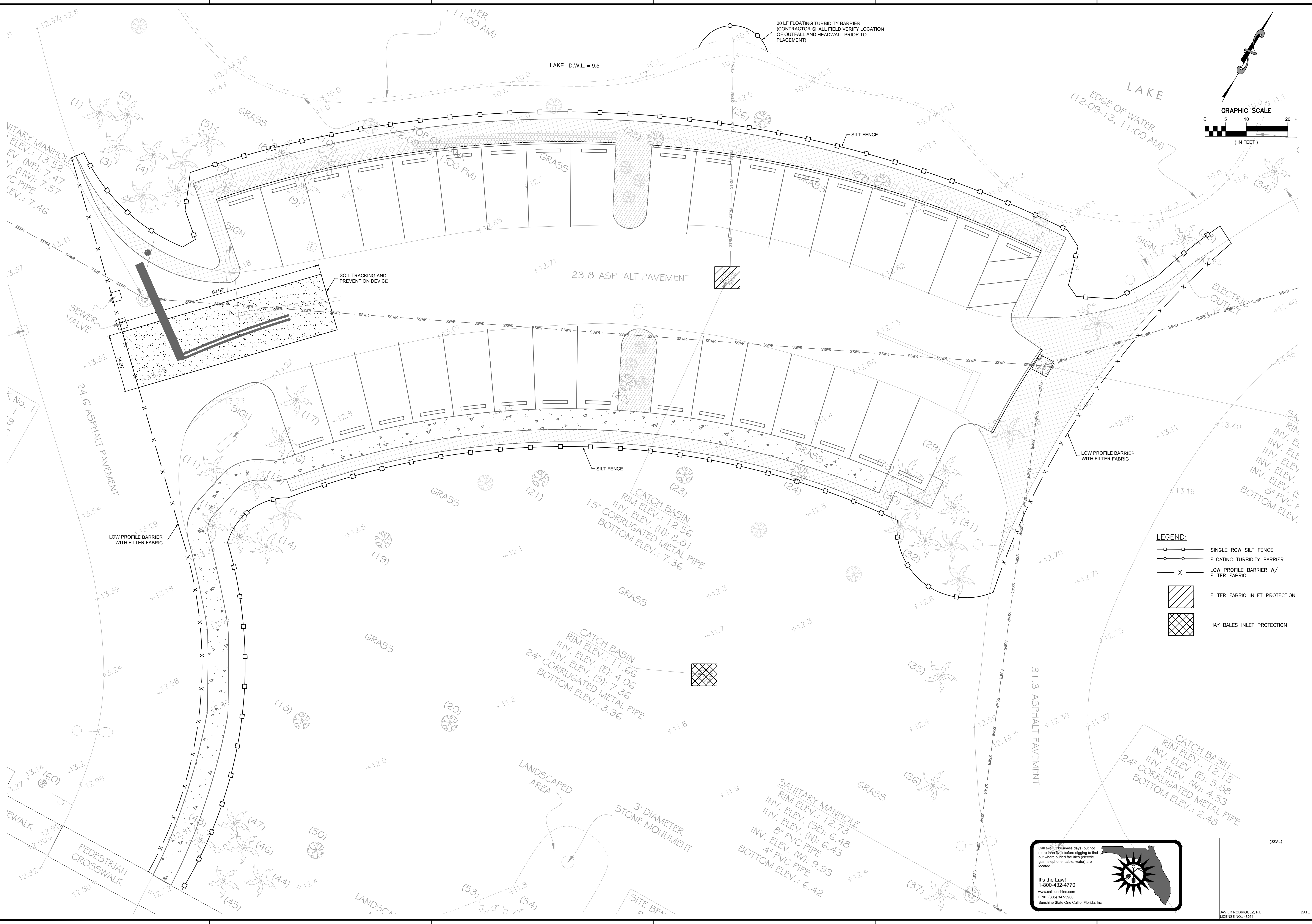
SHEET NAME:

PAVING GRADING & DRAINAGE PLAN

PGD-1

SHEET 5 OF 7

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PUBLIC SERVICES & EOC BUILDING - OVERFLOW PARKING
 4800 W. COPANS ROAD, COCONUT CREEK, FL 33063
100% CONSTRUCTION PLANS

RJB Proj. No:	13090
Date:	05-28-2014
DESIGN:	RP
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CHECK:	JR

REVISIONS:

SHEET NAME:
STORMWATER POLLUTION PREVENTION PLAN

SWPPP-1
 SHEET 6 OF 7

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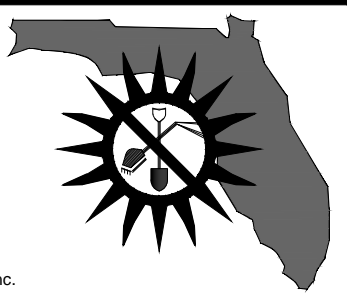
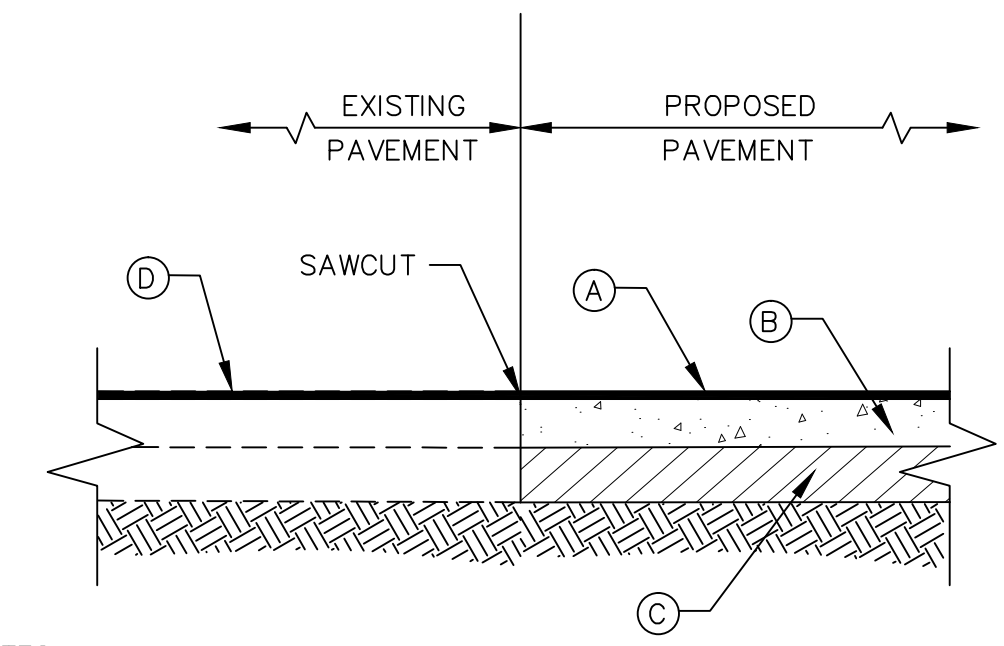
JAVIER RODRIGUEZ, P.E.
 LICENSE NO. 46354

DATE

P:\33090 COCONUT CREEK\4800 SWPPP.DWG 5/28/14 BY RLANT

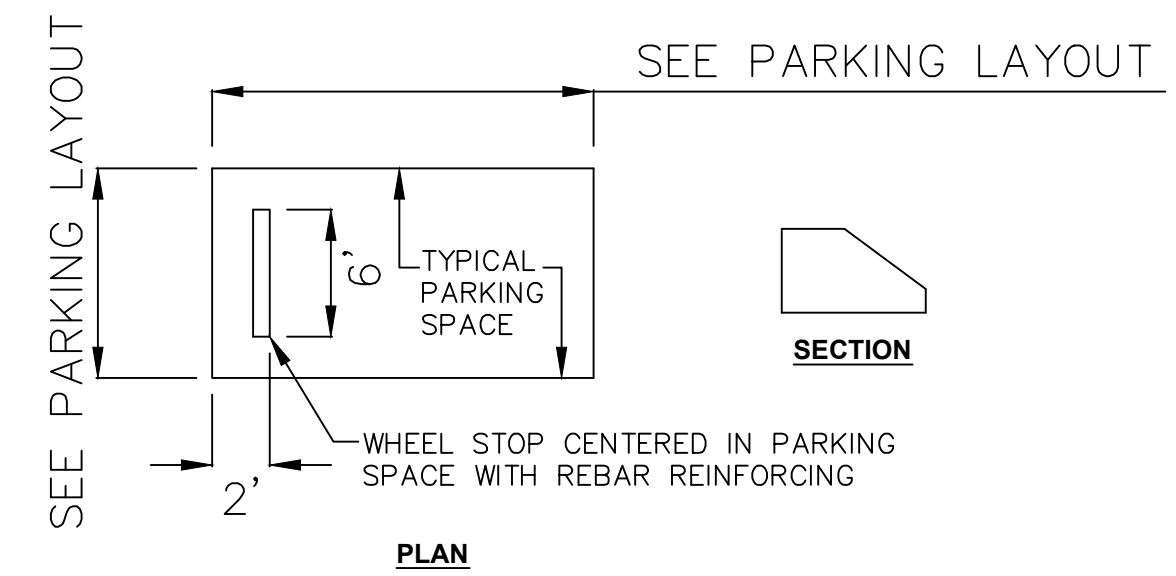
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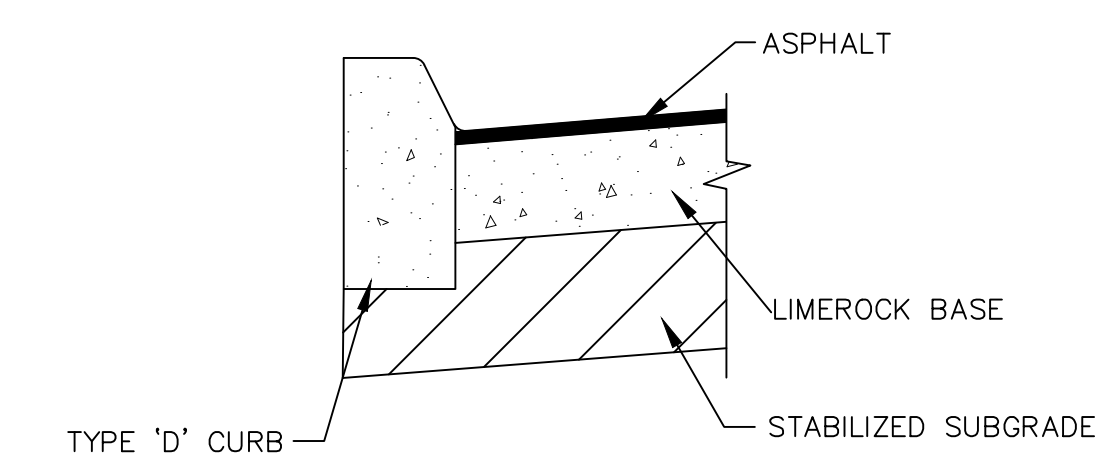



- NOTES:**
1. GRADING AND PREPARATION OF SUBGRADE SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO THE APPLICATION OF PAVING MATERIALS.
 2. CONTRACTOR SHALL CLEAN AND COMPACT SUBGRADE.
- LEGEND:**
- NEW CONSTRUCTION:**
- (A) 1 1/2" ASPHALTIC SURFACE COURSE TYPE S-1 PER FDOT STANDARD SPECIFICATIONS (1 LIFT)
 - (B) 8" LIMEROCK BASE COMPACTED TO 98% MAX. MODIFIED PROCTOR DENSITY PER AASHTO T-180 WITH MIN. LBR-100
 - (C) 12" STABILIZED SUBGRADE COMPACTED TO 98% MODIFIED PROCTOR DENSITY PER AASHTO T-180 WITH MIN. LBR-40
- MILLING & RESURFACING:**
- (D) MILLING 3/4" RESURFACING 3/4" ASPHALTIC SURFACE COURSE TYPE S-1 PER FDOT STANDARDS SPECIFICATIONS.

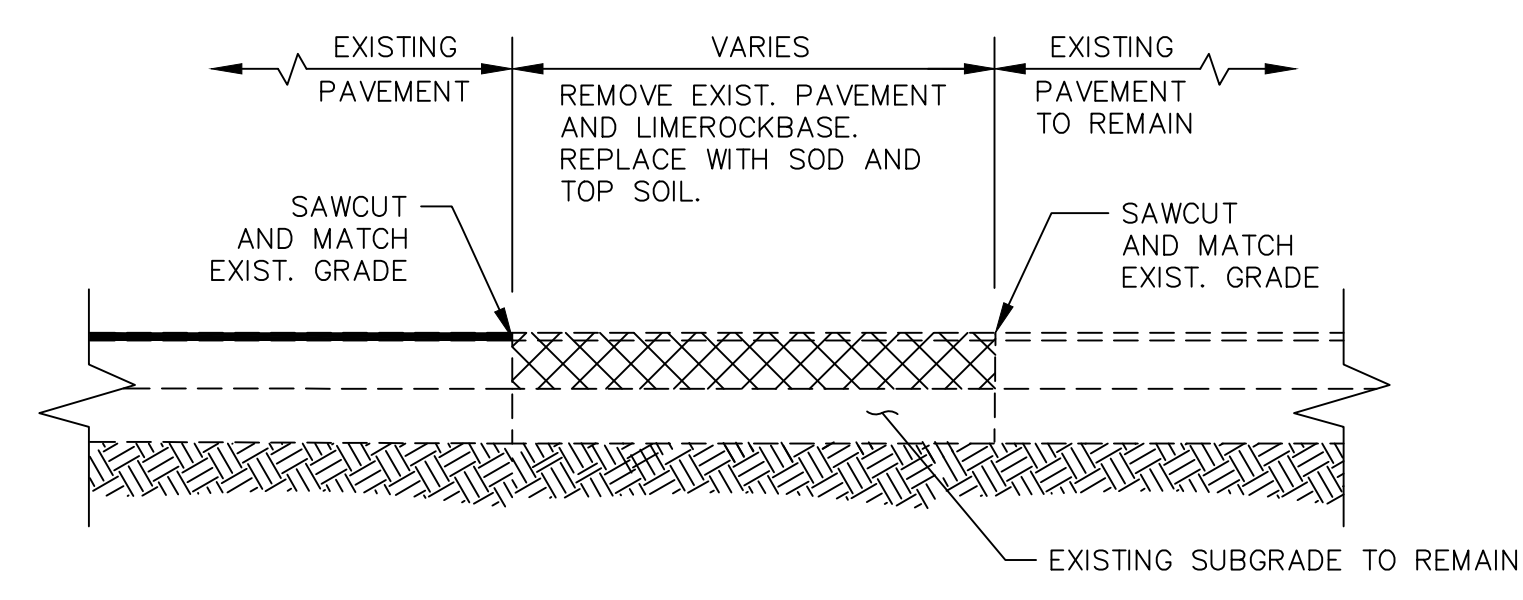
SECTION 2 - PAVEMENT DESIGN DETAIL
N.T.S.



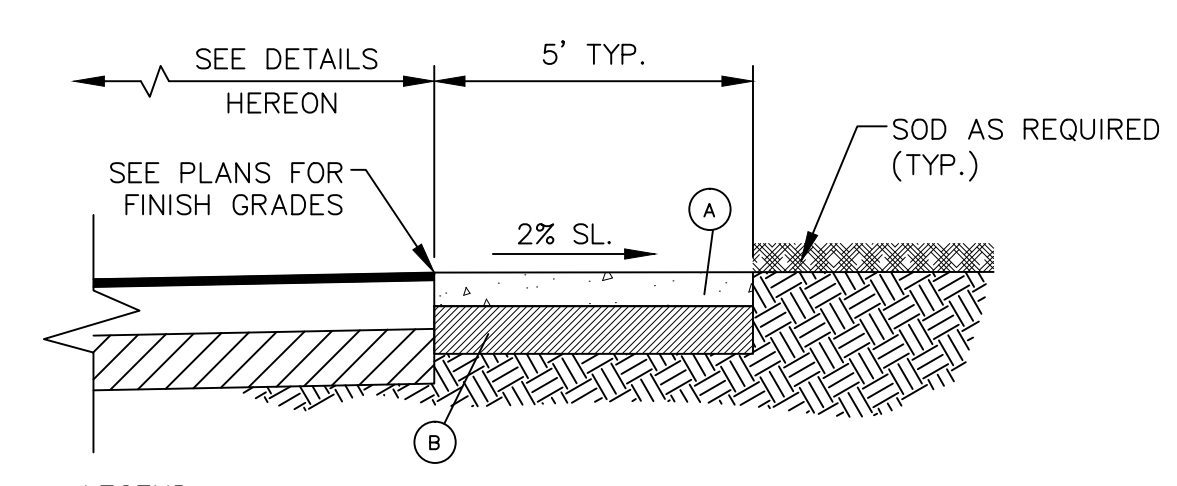
- NOTE:**
1. WHEEL STOP FORM SIZES MAY VARY DEPENDING ON MANUFACTURER.
- WHEEL STOP DETAIL**
N.T.S.



- NOTE:**
1. CURB SHALL BE CONSTRUCTED PER FDOT 2014 DESIGN STANDARD INDEX NO. 300.
- TYPE 'D' CURB DETAIL**
N.T.S.

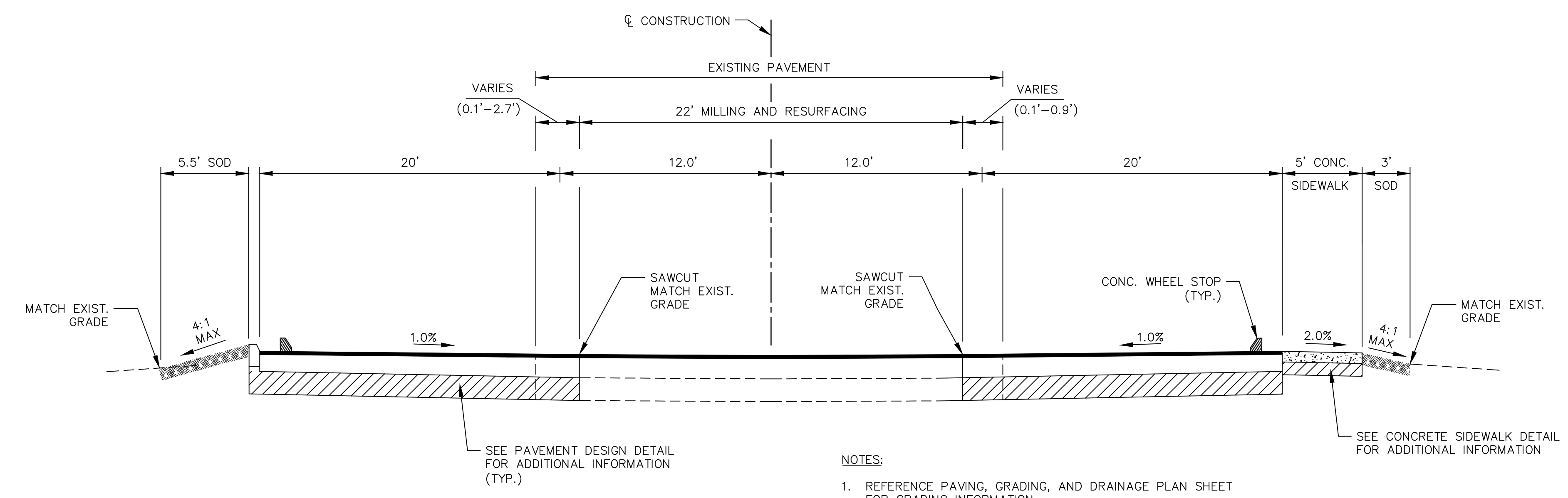


SECTION 3
N.T.S.



- LEGEND:**
- A. 4" THICK CONC. 3000 PSI EXPANSION JOINTS @ 10' O.C. (SHALL BE USED FOR CONCRETE PAD AROUND MANHOLES. SEE PLANS FOR DETAILS.)
 - B. 12" STABILIZED SUBGRADE COMPACTED TO 98% PER AASHTO T-180 W/ MIN. LBR 40.

CONCRETE SIDEWALK DETAIL
N.T.S.



SECTION 1 - TYPICAL PARKING LOT SECTION
N.T.S.

- NOTES:**
1. REFERENCE PAVING, GRADING, AND DRAINAGE PLAN SHEET FOR GRADING INFORMATION.

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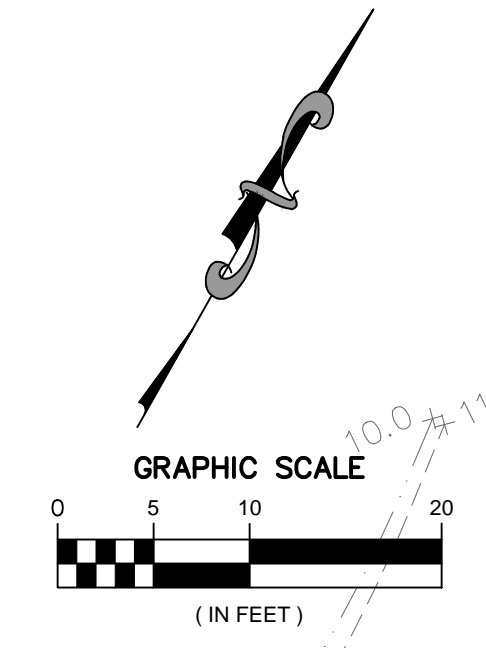
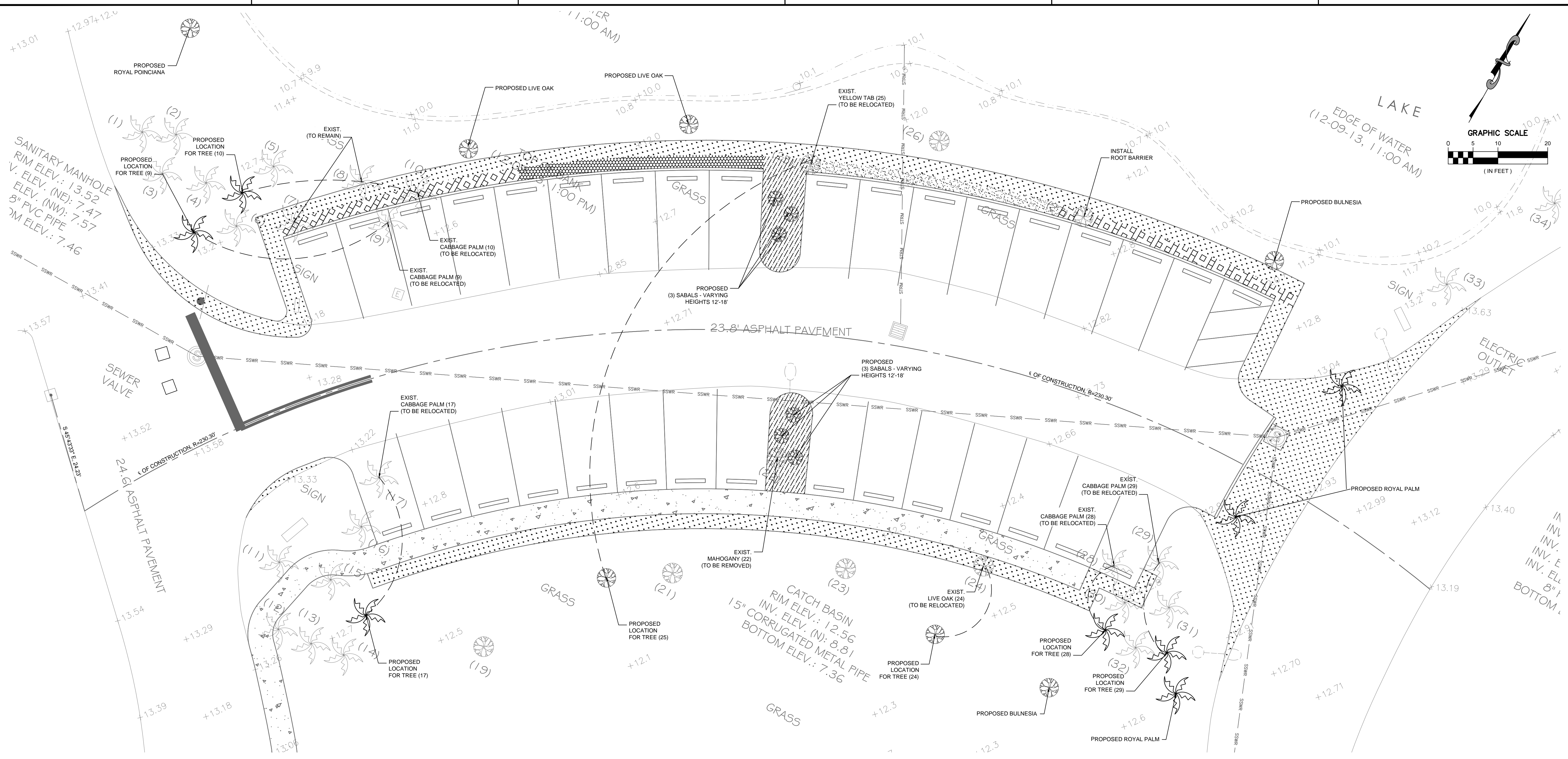
RJB Proj. No:	13090
Date:	05-28-2014
DESIGN:	RP
DRAWN:	RP
CHECK:	JR

REVISIONS:

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SHEET NAME:
PAVING GRADING & DRAINAGE DETAILS

DET-1
SHEET 7 OF 7



**CITY OF COCONUT CREEK
STANDARD LANDSCAPE NOTES:**

1. ALL LANDSCAPE AND SPECIFICATIONS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS PROVIDED IN THE CITY OF COCONUT CREEK LAND DEVELOPMENT CODE. PLANS ARE INCOMPLETE WITHOUT WRITTEN NOTES AND SPECIFICATIONS.
2. ALL PLANTING MATERIAL SHALL MEET OR EXCEED FLORIDA GRADE #1 AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. TREES SHALL NOT BE TIPPED, TOPPED, OR SHAPED PRIOR TO INSTALLATION.
3. LANDSCAPE SHALL BE PLACED TO EDGE OF ABUTTING STREETS, CANALS, LAKES OR OTHER LANDS.
4. ALL MECHANICAL EQUIPMENT, AIR CONDITIONING, IRRIGATION PUMP STATIONS AND EQUIPMENT, FPL TRANSFORMERS, POOL PUMPS, ETC., MUST BE SCREENED ON THREE (3) SIDES BY LANDSCAPE SHRUBS.
NOTE: THE QUANTITY OF SCREENING SHRUBS IS IN ADDITION TO THE REQUIRED NUMBER OF SHRUBS AS PROVIDED IN THE CODE CALCULATION TABLE. ALL SCREENING SHRUBS SHALL BE PLANTED FOR PROPER OPERATION OF EQUIPMENT BEING SCREENED AND/OR PER THE REQUIREMENTS OF THE UTILITY AS NECESSARY. ALL HEDGE MATERIAL REQUIRED FOR SCREENING PURPOSES SHALL BE PLANTED WITH BRANCHES TOUCHING. ADJUST ON-CENTER SPACING AS NECESSARY AND/OR PROVIDE ADDITIONAL PLANTS TO PROVIDE AN ADEQUATE SCREEN.
5. SIGHT DISTANCE CONCERNS MUST BE MAINTAINED FOR CLEAR SIGHT VISIBILITY FROM THIRTY (30) INCHES TO SEVENTY-TWO INCHES, TREE TRUNKS EXCLUDED. MEASUREMENT SHALL BE MADE FROM TOP OF ROOT BALL PLANTED AT PROPER ELEVATION.
6. GUYING/STAKING PRACTICES SHALL NOT PERMIT NAILS, SCREWS, WIRES, ETC., TO PENETRATE OUTER SURFACES OF TREES, PALMS OR OTHER PLANT MATERIAL. TREES, PALMS AND PLANT MATERIAL REJECTED DUE TO THIS PRACTICE SHALL BE REPLACED WITH THE INSPECTOR ON SITE.
7. BURLAP MATERIAL, WIRE CAGES, PLASTIC/CANVAS STRAPS, ETC., MUST BE CUT AND REMOVED FOR THE TOP ONE-HALF (1/2) DEPTH OF THE ROOT BALL. TREES AND SHRUBS GROWN IN GROW BAGS OR GROW BAG TYPE MATERIAL MUST HAVE SUCH MATERIAL REMOVED ENTIRELY PRIOR TO PLANTING THE TREE OR SHRUB.
8. ALL PLANT MATERIAL SHALL BE FREE OF PESTS, INSECTS, DISEASE, WEEDS, ETC.
9. ALL REQUIRED LANDSCAPE MATERIAL SHALL BE INSTALLED USING A PLANTING SOIL MIX COMPRISED OF A TYPE APPROPRIATE TO THE INDIVIDUAL PROPOSED PLANT MATERIAL AND THE NATIVE SOIL FOUND ON THE SITE.
10. ALL PLANT MATERIAL SHALL BE PLANTED AT THE PROPER DEPTH, AS ORIGINALLY GROWN AND/OR SO THE TOP OF THE ROOT BALL IS FLUSH OR SLIGHTLY ABOVE FINISHED GRADE IMMEDIATELY AFTER PLANTING. ALL TREES SHOULD PROVIDE TRUNK TAPER WHEN PROPERLY PLANTED AT THE CORRECT PLANTING DEPTH.
11. ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING TO ELIMINATE AIR POCKETS IN THE ROOT ZONE AREA.
12. COLOR-TREATED OR DYED MULCH WILL NOT BE ACCEPTED.
13. UPON COMPLETION OF WORK, THE SITE SHALL BE CLEARED OF ALL DEBRIS, SUPERFLUOUS MATERIALS, AND EQUIPMENT CAUSED BY THIS PERMIT TO THE SATISFACTION OF THE INSPECTOR.
14. REFER TO COCONUT CREEK FIRE EQUIPMENT CLEAR ZONE DIAGRAM TO MAINTAIN A SAFE ZONE FRONTING FIRE HYDRANTS.

15. DO NOT PLANT TREES, SHRUBS OR GROUNDCOVER WITHIN ELECTRIC METER CLEAR ZONE. PROVIDE A SAFE ZONE AS DESCRIBED BY THE ELECTRICAL INSPECTOR.
16. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER AN IMPERVIOUS SURFACE SUCH AS A SIDEWALK, ETC. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 P.M. TO 8:00 A.M. ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.
17. IRRIGATION PERMITS AND PLANS SHALL BE SUBMITTED FOR APPROVAL AT TIME OF BUILDING PERMITS.
18. ALL NON-SINGLE FAMILY OR DUPLEX IRRIGATION SYSTEMS OTHER THAN CITY WATER SYSTEMS SHALL REQUIRE A SOUTH FLORIDA WATER MANAGEMENT DISTRICT WATER USE PERMIT PRIOR TO ISSUANCE OF AN IRRIGATION PERMIT AND INSTALLATION OF THE IRRIGATION SYSTEM AS REQUIRED.
19. ALL SITE AMENITIES TO INCLUDE SITE STREET LIGHTS, LANDSCAPE COMMON OPEN SPACE, IRRIGATION COMMON OPEN SPACE, BUFFERS, BERMS, LANDSCAPE ENTRY FEATURES, ETC. LEADING UP TO AND INCLUDING THE MODEL CENTER AND/OR FIRST CERTIFICATE OF OCCUPANCY MUST BE COMPLETED AND FUNCTIONAL PRIOR TO ISSUANCE OF THE FIRST REQUESTED CERTIFICATE OF OCCUPANCY.
20. THE HEIGHT OF ALL REQUIRED, DESIGNED AND INSTALLED BERMS SHALL BE FROM THE HIGHEST ADJACENT POINT WHETHER IT IS THE SIDEWALK, PARKING AREA, VEHICULAR USE AREA, SURROUNDING GROUND, ETC. WHERE A BERM ABUTS A SIDEWALK, THERE SHALL BE A ONE (1) FOOT LEVEL SOD AREA ADJACENT TO THE SIDEWALK PRIOR TO THE START OF INCLINE FOR THE BERM.
21. AN INSPECTION IS REQUIRED PRIOR TO THE BACKFILLING OF TREES/PALMS IN ALL PARKING MEDIANS AND ISLANDS.

ADDITIONAL LANDSCAPE NOTES:

1. FOR TREE BARRICADE DETAIL AND NOTES REFER TO FDOT DESIGN STANDARD (2013) INDEX No. 544.
2. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED PLANT MATERIAL THAT IS TO REMAIN AND SHALL REPLACE TO LIKE OR BETTER CONDITION.

#	COMMON NAME	CONDITION	CALIPER	HEIGHT	SPREAD	DISPOSITION
7	CABBAGE PALM	GOOD	8"	20'	6'	TO REMAIN / PROTECT IN PLACE
8	CABBAGE PALM	GOOD	10"	25'	7'	TO REMAIN / PROTECT IN PLACE
9	CABBAGE PALM	GOOD	8"	20'	6'	TO BE RELOCATED
10	CABBAGE PALM	GOOD	10"	25'	7'	TO BE RELOCATED
17	CABBAGE PALM	GOOD	10"	25'	7'	TO BE RELOCATED
22	MAHOGANY	POOR	18"	35'	30'	TO BE REMOVED
24	LIVE OAK	GOOD	12"	30'	30'	TO BE RELOCATED
25	YELLOW TAB	FAIR	12"	25'	20'	TO BE RELOCATED
27	LIVE OAK	GOOD	20"	35'	35'	TO REMAIN / INSTALL ROOT BARRIER
28	CABBAGE PALM	GOOD	12"	25'	10'	TO BE RELOCATED
29	CABBAGE PALM	GOOD	15"	25'	12'	TO BE RELOCATED

NOTE: "TREE DISPOSITION TABLE" COMPILES DATA FROM CITY OF COCONUT CREEK STAFF AND "MAP OF TOPOGRAPHIC SURVEY" BY LONGITUDE SURVEYORS (FIELD SURVEYED ON 12/9/13).

LEGEND:

- SOD
- MULCH
- COCOPLUM (3 GAL) CHRYSOBALANUSIACCO (50 COUNT)
- SPANISH STOPPES (3 GAL) EUGENIA FOETIDA (25 COUNT)
- SIMPSON STOPPES (3 GAL) MYRCANTHES FRAGRANS (25 COUNT)

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BRIAN R. SHORE, RLA
LICENSE NO. L.A. 6666770

DATE

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Proj. No:
Date: 05-28-14
DESIGN: BR HS
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REVISIONS:

SHEET NAME:
LANDSCAPE PLAN

LNSC-1
SHEET 1 OF 1