

A Site Plan Approval for: RESIDENCE INN BY MARRIOTT

State Road 7
Coconut Creek, Florida

PROJECT TEAM:

OWNER / DEVELOPER:

MORLIN HOSPITALITY GROUP, INC.

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SUNTECH ENGINEERING

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LANDSCAPE:

GRANT THORNBROUGH AND ASSOCIATES

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MEP ENGINEERING:

**THOMPSON YOUNGROSS ENGINEERING
CONSULTANTS**

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PROJECT DESCRIPTION:

THE PROJECT INVOLVES THE CONSTRUCTION OF A NEW 6-STORY 105-ROOM HOTEL. THE SITE IS A VACANT PARCEL ON THE EAST SIDE OF STATE ROAD 7, NORTH OF THE SAWGRASS EXPRESSWAY. THE EXISTING DRY RETENTION AREA WILL BE CONVERTED TO A LAKE TO ACCOMMODATE THE REQUIRED DRAINAGE FOR BOTH THE HOTEL AND THE EXISTING BUILDINGS WITHIN THE PCU.

THE FINISHED FLOOR OF THE BUILDING WILL BE PLACED AT 14.5, THE SAME FLOOR ELEVATION AS THE ADJACENT BUILDINGS WITHIN THIS PCU. THE NEW FEMA MAPS REQUIRE A HIGHER ELEVATION FOR THIS SITE, FOR WHICH A PETITION WILL BE FILED POST-HASTE FOR RELIEF FROM THIS REQUIREMENT. IN THE INTERIM, THE BUILDING WILL BE FLOOD-PROOFED TO THE REQUIRED ELEVATION (SEE CIVIL) FOR FULL COMPLIANCE WITH FEMA UNTIL RELIEF IS GRANTED.

SHEET INDEX :

ARCHITECTURAL:

- A000 TITLE SHEET
- A001 OVERALL SITE PLAN
- A002 ENLARGED SITE PLAN
- A003 SITE PLAN DETAILS
- A210 FIRST FLOOR PLAN
- A220 TYPICAL UPPER FLOOR PLAN
- A610 EXTERIOR ELEVATIONS
- A611 EXTERIOR ELEVATIONS

CIVIL:

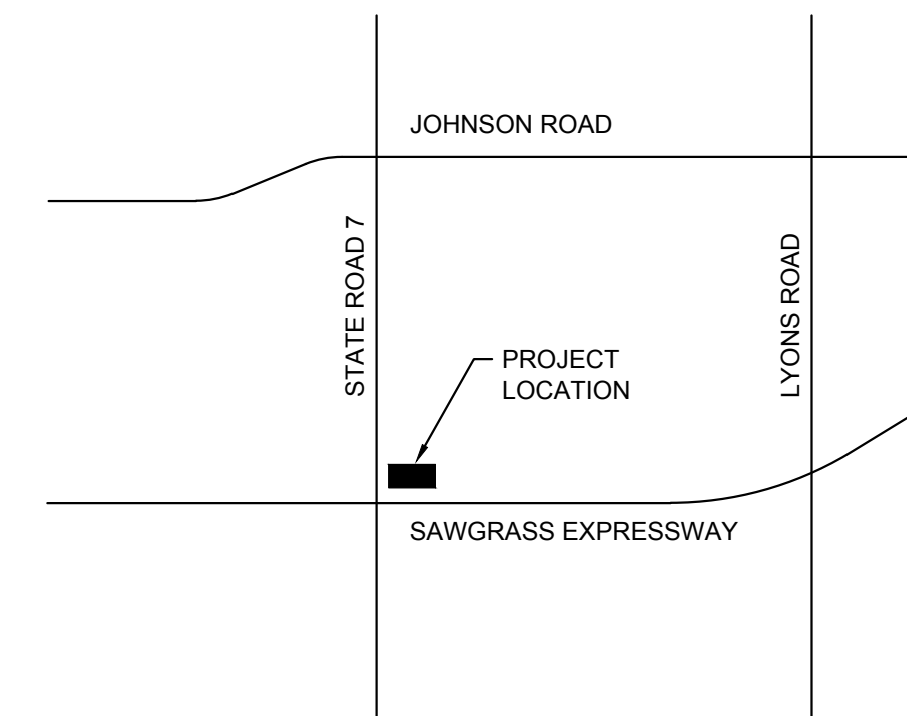
- C1 SCHEMATIC PAVING & DRAINAGE PLAN
- C2 SCHEMATIC WATER & SEWER PLAN

LANDSCAPE:

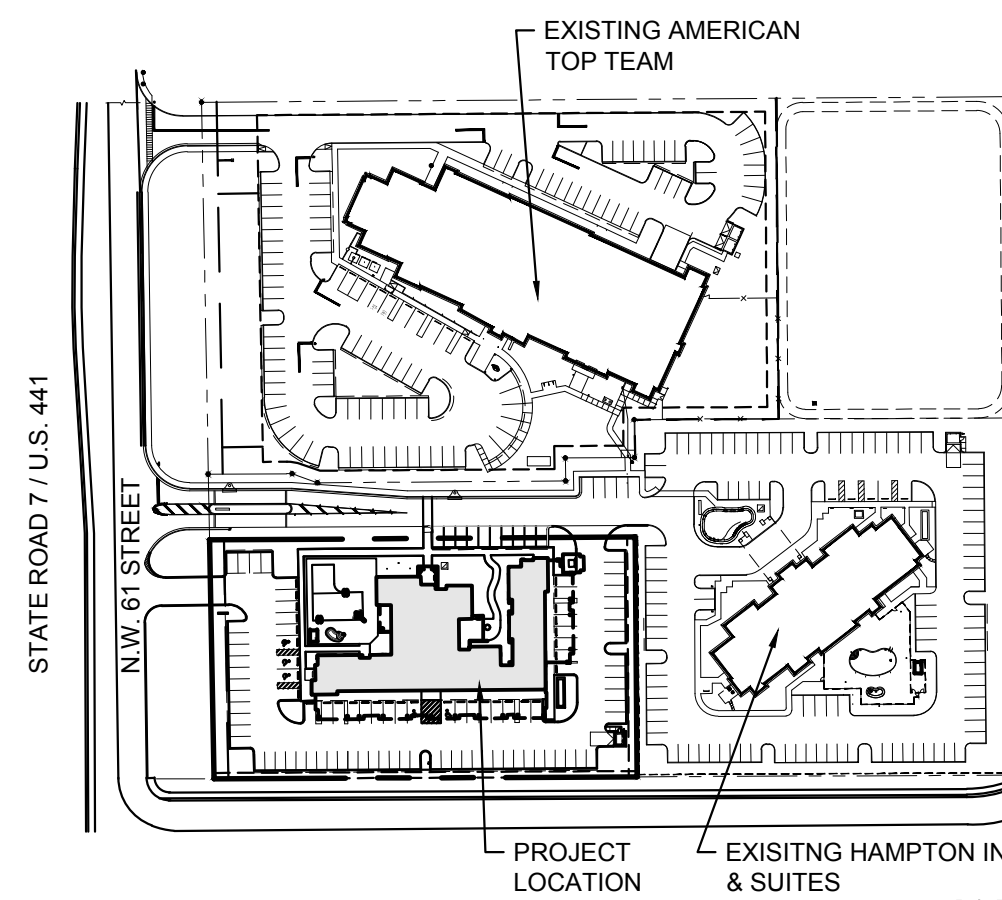
- TR-1 TREE REMOVAL PLAN
- LP-1 LANDSCAPE PLAN
- LP-2 LANDSCAPE CALCULATIONS
- LP-3 LANDSCAPE SPECIFICATIONS

ELECTRICAL:

- ES0.1 PHOTOMETRIC STATISTICS
- ES1.1 ENLARGED SITE PLAN PHOTOMETRICS



LOCATION MAP
NOT TO SCALE



SITE KEY
NOT TO SCALE

SUSTAINABILITY NOTES:

SUSTAINABLE SITE DEVELOPMENT: (SEE SITE PLAN - SHEET 001)

1. BIKE RACKS & EMPLOYEE SHOWERS
2. SITE SELECTION RELATED TO PUBLIC TRANSPORTATION - BUS STOP ADJACENT SITE.
3. LOCAL SHUTTLE SERVICE.
4. RAIN SENSORS FOR IRRIGATION.

WATER EFFICIENCY:

1. SENSORS TO BE PROVIDED FOR LAVATORIES IN THE PUBLIC AREAS.
2. HIGH EFFICIENCY PLUMBING FIXTURES THROUGHOUT.
3. UTILIZING LOW-FLOW TOILETS IN THE GUESTROOMS.

ENERGY EFFICIENCY:

1. USE OF NATURAL GAS ON SITE.
2. CAR CHARGER STATIONS & PROVIDING PREFERRED PARKING FOR ELECTRIC CARS.
3. MINIMUM ENERGY PERFORMANCE - BUILDING WILL BE DESIGNED TO MEET THE 2014 FLORIDA BUILDING CODE & ENERGY CODE WHICH REQUIRES THE BUILDING TO BE 20% MORE EFFICIENT THAN THE NATIONAL BASELINE BUILDING.
4. USE OF PHOTOVOLTAIC SOLAR PANELS ON THE ROOF.

INDOOR ENVIRONMENT QUALITY:

1. INDOOR AIR QUALITY - THE BUILDING WILL BE DESIGNED TO MEET ASHRAE 62.1 2013 STANDARD "VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY".

MATERIALS AND RECYCLING:

1. DIVERT CONSTRUCTION WASTE FROM LANDFILL DISPOSAL.
2. DESIGNATE AREAS ON SITE FOR COLLECTION OF RECYCLABLES & NON-RECYCLABLE MATERIALS.
3. MANDATE VERIFICATION RECORDS THAT INDICATE THAT THE DIVERTED MATERIALS HAVE BEEN RECYCLED OR SALVAGED AS INTENDED.
4. OWNER INSTITUTED RECYCLING PROGRAMS POST OCCUPANCY.
5. UTILIZE LOW VOC PAINTS.
6. USE OF INTERIOR FINISHES WITH RECYCLED CONTENT.

consultant:

date:

eric anderson

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revision:	date:
1	05/02/16
2	05/02/16
3	05/02/16
4	05/02/16
5	05/02/16
6	05/02/16
7	05/02/16
8	05/02/16
9	05/02/16
10	05/02/16

commission: 14-030
principal: ERIC ANDERSON
project manager: CH

file name: 4030-A-000-TS
date: 02-23-16
title:

TITLE SHEET

TS

of: 8 | A