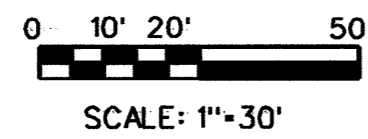


GENERAL NOTES

1. ALL DRIVEWAYS SHALL BE BRICK PAVERS.
2. ALL END UNITS SHALL HAVE A TWO CAR GARAGE. ALL INTERIOR UNITS SHALL HAVE A ONE CAR GARAGE.
3. REFER TO ARCHITECTURAL PLANS FOR SPECIFIC ARCHITECTURAL DETAILS SUCH AS FENCE MATERIAL AND DETAIL, BRICK PAVER SPECS, TRELLIS DETAIL, ETC.
4. ALL MAIL SHALL BE DELIVERED TO A CENTRAL MAILBOX FACILITY AT THE RECREATION AREA AND TO BE APPROVED BY THE USPS.
5. ALL ELECTRIC UTILITIES FOR THIS PROJECT SHALL BE UNDERGROUND.
6. STREET LIGHTS SHALL PER THE PHOTOMETRICS PLANS.
7. REFER TO SHEETS PD4 - PD6 FOR ROAD, PARKING, AND OTHER SITE CROSS SECTIONS AND DETAILS.

UTILITY EASEMENT DEDICATION AND NOTES:

1. ALL PUBLIC UTILITY EASEMENTS SHALL BE DEDICATED TO THE PUBLIC PURSUANT TO THE CITY OF COCONUT CREEK ENGINEERING AND LEGAL DEPARTMENT REQUIREMENTS.
2. HEAVY LANDSCAPING, WALLS, FENCES, ENTRANCE FEATURES, BERMS AND SIGNS THAT MAY INTERFERE WITH THE INSTALLATION AND MAINTENANCE OF UTILITIES WILL NOT BE PLACED WITHIN A UTILITY EASEMENT, WITHIN 6 FEET OF A WATER LINE, FIRE HYDRANT OR FORCE MAIN, OR WITHIN 10 FEET OF A SANITARY OR STORM SEWER.



SCALE: 1"=30'

IN THE PINES

CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA

SITE PLAN

LEGAL DESCRIPTION:

THAT PORTION OF TRACTS A, B, LB1, AND LB2, FIRST BAPTIST CHURCH AT HILLSBORO, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 176, PAGE 123, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

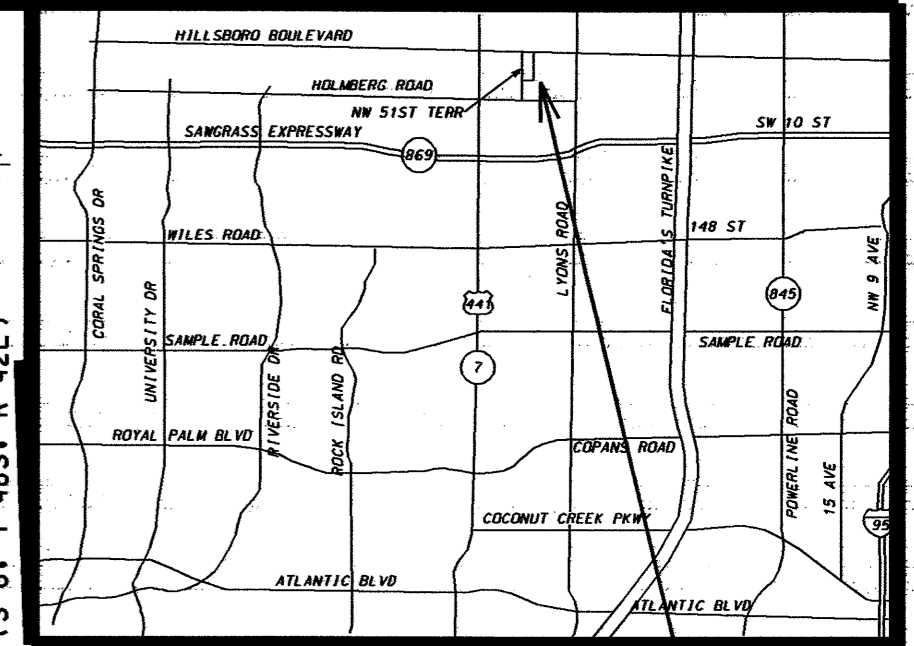
BEGINNING AT THE MOST NORTHERLY NORTHWEST CORNER OF SAID TRACT A, THENCE NORTH 89°35'28" EAST, ALONG THE NORTH LINE OF SAID TRACT A, A DISTANCE OF 309.44 FEET; THENCE SOUTH 81°19'08" EAST, ALONG SAID NORTH LINE, A DISTANCE OF 48.16 FEET; THENCE SOUTH 00°25'02" EAST, A DISTANCE OF 519.77 FEET; THENCE SOUTH 89°35'28" WEST, ALONG A LINE 34 FEET NORTH OF, AS MEASURED AT RIGHT ANGLES TO, THE SOUTH LINE OF SAID TRACTS A AND B AND THE WESTERLY PROLONGATION THEREOF, A DISTANCE OF 392.00 FEET; THENCE NORTH 00°25'02" WEST, ALONG THE WEST LINE OF SAID TRACTS A, LB2, AND LB1, A DISTANCE OF 492.37 FEET; THENCE NORTH 44°36'35" EAST, ALONG THE NORTHWEST LINE OF SAID TRACTS LB1 AND A, A DISTANCE OF 49.50 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA.

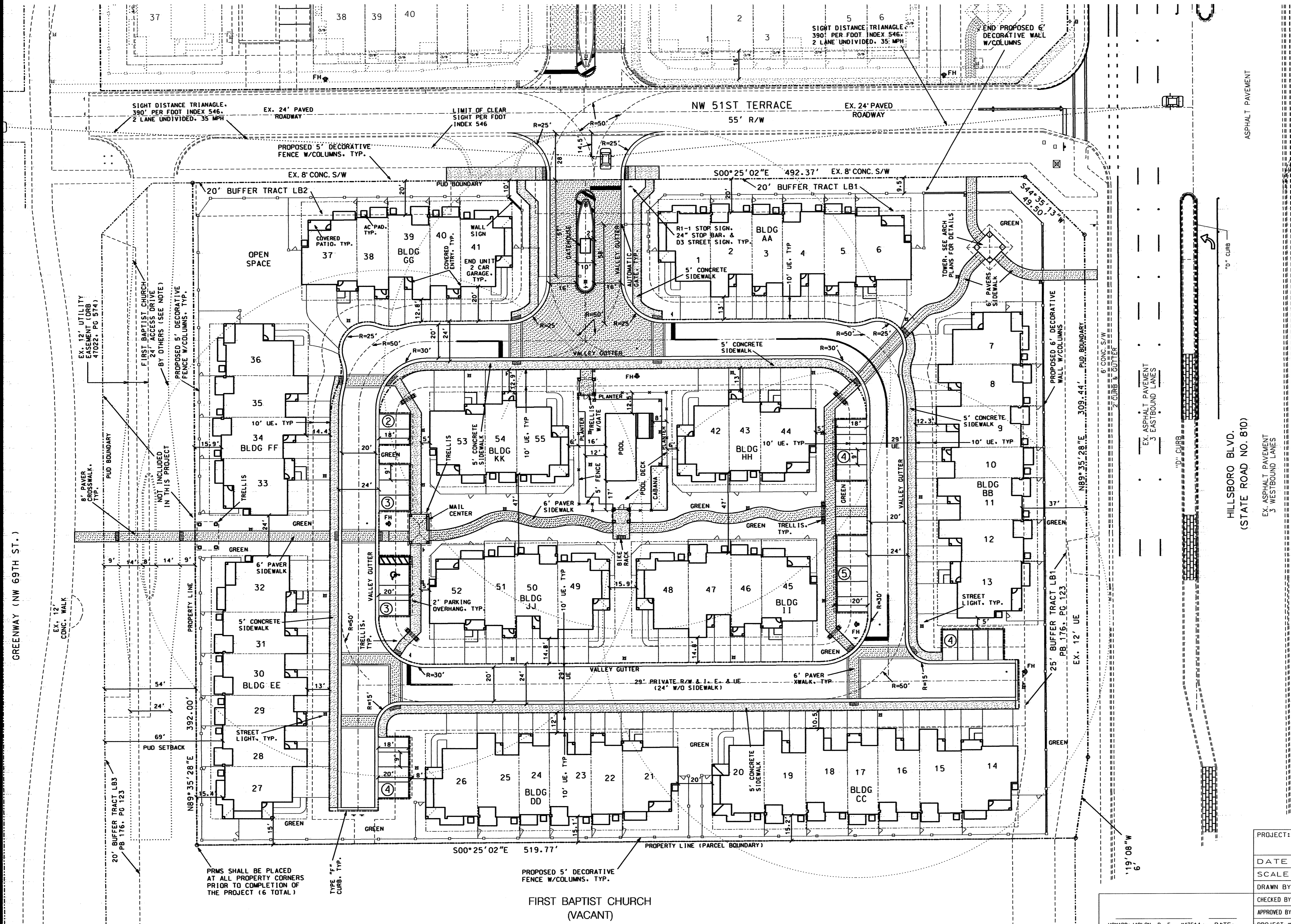
SITE DATA

| | |
|---------------------------------------|---------------------------------|
| TYPE OF PROJECT : | RESIDENTIAL |
| LAND USE MAP DESIGNATION : | OFFICE PROFESSIONAL |
| PROPOSED LAND USE MAP DES. : | ?????? |
| EXISTING ZONING : | PCD |
| PROPOSED ZONING : | PUD |
| GROSS SIZE OF PROPERTY : | 4.73 ACRES |
| NET SIZE OF PROJECT SITE : | 4.73 ACRES |
| NUMBER OF UNITS : | 55 |
| GROSS DENSITY : | 11.63 UNITS/ACRE |
| MAXIMUM BUILDING HEIGHT : | 35 FEET OR TWO STORIES |
| BUILDING HEIGHT PROVIDED : | 35 FEET OR TWO STORIES |
| WATER & WASTEWATER SERVICE PROVIDER : | CITY OF COCONUT CREEK UTILITIES |
| REQUIRED WASTE SERVICE : | STREETSIDE PICKUP |

LOCATION MAP
(S 6, T 48S, R 42E)



LONG PINES
(UNDER CONSTRUCTION)



PARKING DATA:

| USE | PER SEC 13-400(2) OF THE LDC | REQUIRED | PROVIDED |
|----------------|--|----------|----------|
| 1 CAR DRIVEWAY | 9' x 20' DRIVEWAY (33 TOTAL x 1 SPACE) | | 33 |
| 2 CAR DRIVEWAY | 18' x 20' DRIVEWAY (22 TOTAL x 2 SPACES) | | 44 |
| GARAGE | 33 ONE CAR, 22 TWO CAR (77 TOTAL) | | 77 |
| DISTRIBUTED | THROUGHOUT SITE | | 10 |
| MULTIFAMILY | 2.25 PER 3 BED UNIT x 55 UNITS = 123.8 | 124 | 164 |
| GUEST | 12% OF REQUIRED = 12% OF 124 = 15 | 15 | 15 |
| TOTAL | MF + GUEST = 139 SPACES | 139 | 179 |
| HC SPACES | FOR 1-25 REQUIRED GUEST SPACES | 1 | 1 |

LOT DATA

| LOT DATA | TOTAL (SF) | TOTAL (AC) | TOTAL (%) |
|---|--------------|------------|-----------------|
| TOTAL NET LOT AREA | : 205,939 SF | 4.728 AC | 100.00% |
| BUILDING (FOOTPRINTS) | : 52,477 SF | 1.205 AC | 25.5% (40% MAX) |
| DRIVE AISLE & PARKING | : 36,444 SF | 0.837 AC | 17.7% |
| SIDEWALK | : 11,749 SF | 0.270 AC | 5.7% |
| DRIVEWAYS | : 16,750 SF | 0.385 AC | 8.1% |
| LOT IMP. (PATIO, AC PAD & WALKWAY TO ENTRY) | : 11,093 SF | 0.254 AC | 5.4% |
| RECREATION AREA (POOL, CABANA, DECK) | : 4,356 SF | 0.100 AC | 2.1% |
| LANDSCAPE AREA | : 73,070 SF | 1.677 AC | 35.5% |

OPEN SPACE (PUD MIN 35%)

REFER TO SHEET SP2 FOR DETAILED SITE DATA CALCULATIONS

| | | | |
|--------------------------|--------------|----------|---------|
| TOTAL SITE AREA | : 205,939 SF | 4.728 AC | 100.00% |
| NORTH BUFFER | : 10,573 SF | 0.243 AC | 5.13% |
| EAST BUFFER | : 5,435 SF | 0.125 AC | 2.64% |
| SOUTH BUFFER | : 4,880 SF | 0.112 AC | 2.37% |
| WEST OPEN AREA | : 3,344 SF | 0.077 AC | 1.62% |
| LOT OPEN SPACE | : 20,963 SF | 0.482 AC | 10.18% |
| INTERIOR SITE OPEN SPACE | : 27,875 SF | 0.641 AC | 13.54% |
| TOTAL | : 73,070 SF | 1.68 AC | 35.5% |

SETBACKS:

PUD SETBACKS ARE MEASURED FROM PUD BOUNDARY.

| | PUD STANDARD | PROVIDED |
|----------------|--------------|----------|
| NORTH BOUNDARY | : 25 FT | 37 FT |
| EAST BOUNDARY | : 15 FT | 15 FT |
| SOUTH BOUNDARY | : 15 FT | 69 FT |
| WEST BOUNDARY | : 15 FT | 20 FT |

LIFT GATE NOTE:

1. THE AUTOMATIC GATE SHALL BE A LIFT GATE. ANY COLUMNS AND POSTS SHALL BE A MINIMUM OF 4 FEET FROM ANY WATER OR SEWER MAIN OR SERVICE.

LEGEND

- PROPOSED LIGHT POLE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED BRICK PAVERS
- PROPOSED CONCRETE SIDEWALK

| | | | |
|------------------------------|-----------|------------------------------------|--|
| PROJECT: IN THE PINES | | TITLE: SITE PLAN | |
| DATE: 05/15/14 | REVISIONS | | |
| SCALE: 1" = 30' | DATE | COMMENTS | |
| DRAWN BY: HEJ | 09/01/14 | REVISE PER CITY SP DRC COMMENTS #1 | |
| CHECKED BY: LJJ | 10/25/14 | REVISE PER CITY SP DRC COMMENTS #2 | |
| APPROVED BY: HEJ | | | |
| PROJECT #: 13-0020 | DATE | | |

| | | |
|--|--|--|
| AJ HYDRO ENGINEERING, INC. | | SHEET NUMBER SP2 OF 4 |
| 5832 NW 73RD COURT | | |
| PARKLAND, FL 33067 | | |
| TEL (954) 344-7866 FAX (954) 344-7866 | | |