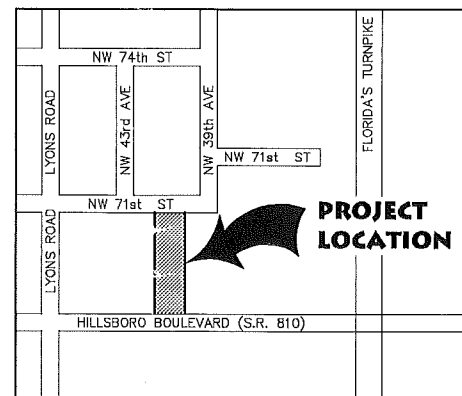


NEW LIFE COMMUNITY CHURCH CITY OF COCONUT CREEK, FLORIDA

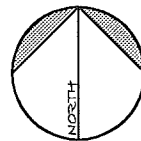
FOR: NEW LIFE COMMUNITY CHURCH, INC.

INDEX

SHEET NO.	DRAWING NO.	TITLE
1	-	COVER SHEET
2	SP-1	SITE PLAN
3	-	SURVEY
4	-	PLAT
5 - 6	A100 - A 101	BUILDING FLOOR PLANS
7	A200	BUILDING ELEVATIONS
8	L-1	TREE SURVEY
9	L-2	LANDSCAPE PLAN
10	-	PHOTOMETRICS PLAN
11	DEM-1	DEMOLITION PLAN
12	CEP-1	CONCEPTUAL ENGINEERING PLAN



LOCATION MAP
N.T.S.
SECTION 05, TOWNSHIP 48S, RANGE 42E



LEGAL DESCRIPTION

PARCEL "A", WORKINGMAN'S NURSERY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 126, PAGE 22, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

DEVELOPER:
NEW LIFE COMMUNITY CHURCH, INC.
4161 W. HILLSBORO BOULEVARD
COCONUT CREEK, FL 33073
(954) 596-2142

ARCHITECT:
JMS DESIGN INC.
211 SO. FEDERAL HIGHWAY SUITE 11
BOYNTON BEACH, FL 33435
(561) 735-9990

ENGINEER:
CORDOVA MENDEZ DESIGN GROUP, INC.
PMB 328, 320 S. FLAMINGO ROAD
PEMBROKE PINES, FL 33026
(954) 435-5445

LANDSCAPE ARCHITECT:
TOM L. WHITE, L.A.
2600 N.E. 27TH AVENUE
FT. LAUDERDALE, FL 33306
(954) 566-0989

**CORDOVA
MENDEZ
DESIGN
GROUP
INC.**

Engineers • Planners

PMB 328, 320 S. Flamingo Road Tel: (954) 435-5445
Pembroke Pines, Fl. 33027 Fax: (954) 435-1584

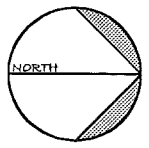
REVISED PLANS
SUBMITTED FOR APPROVAL
APRIL 22, 2003

NOTES

- EXISTING WHEEL STOPS CAN BE REUSED IF FOUND TO BE IN AN ACCEPTABLE CONDITION BY OWNER AND CITY.
- EXISTING ISLANDS SHALL BE CURBED.
- ALL PARKING STALLS SHALL BE A MINIMUM OF 10' WIDE AT THE NARROWEST POINT OF THE STALL.

LEGEND

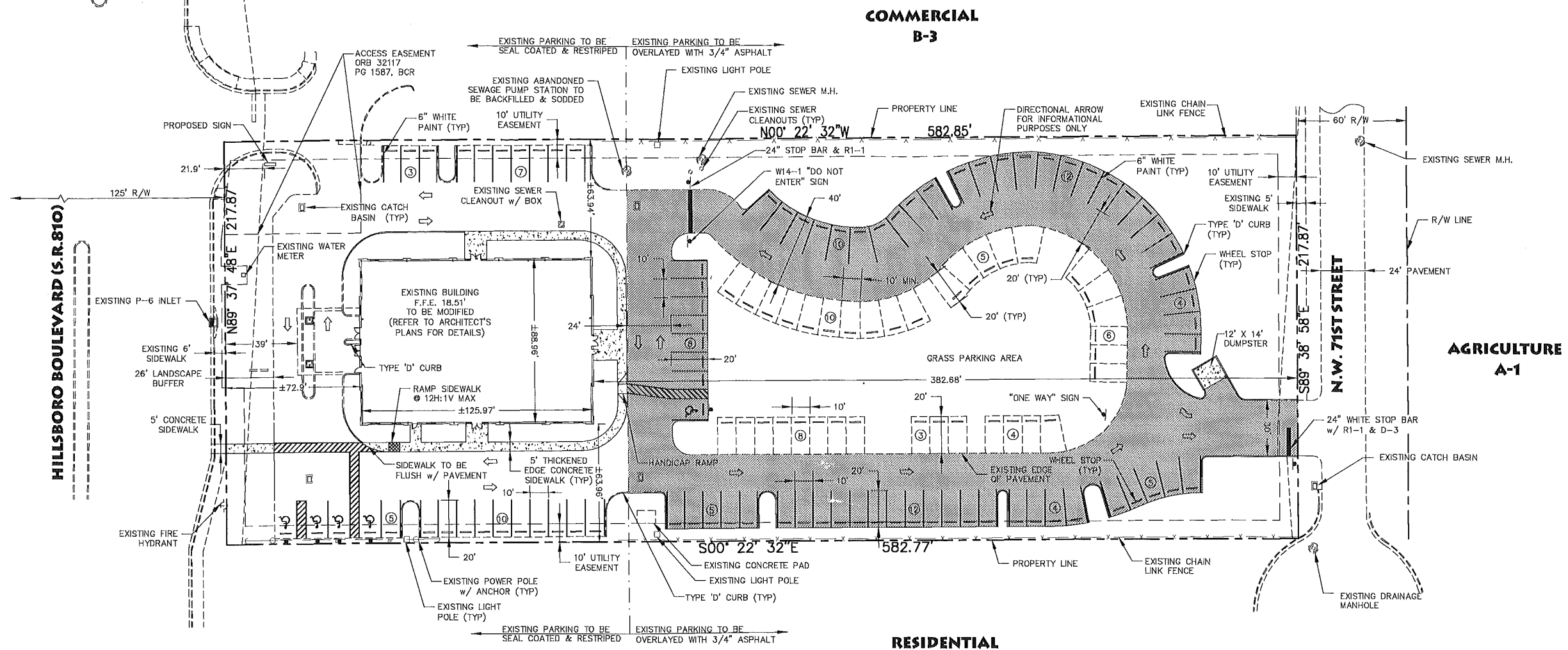
- PROPERTY LINE
- EASEMENT LINE
- R/W LINE
- SECTION LINE
- EXISTING FENCE
- EXISTING EDGE OF PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED 3/4" OVERLAY
- PROPOSED CONCRETE



CORDOVA MENDEZ DESIGN GROUP INC.
 Engineers • Planners

PMB 328, 320 S. Flamingo Road
 Pembroke Pines, FL 33027

Tel: (954) 435-5145
 Fax: (954) 435-1584

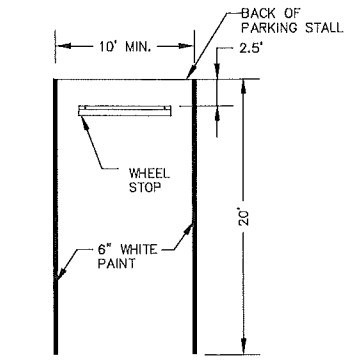


SITE DATA INFORMATION

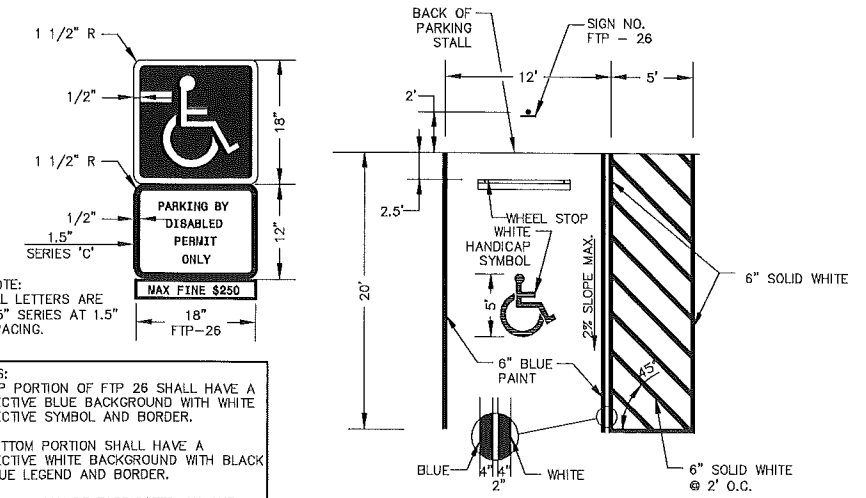
TOTAL GROSS ACREAGE:	2.91 ACRES
PERVIOUS AREA:	54,450 SQ. FT. = 1.25 AC. (43.0%)
IMPERVIOUS AREA:	51,836 SQ. FT. = 1.66 AC. (57.0%)
EXISTING BUILDING:	5,354 SQ. FT. = 0.15 AC.
PROPOSED BUILDING:	11,437 SQ. FT. = 0.26 AC.
EXISTING PAVEMENT:	48,357 SQ. FT. = 1.11 AC.
PROPOSED PAVEMENT:	12,613 SQ. FT. = 0.29 AC.

LAND USE:	RESIDENTIAL LOW 3
ZONING:	CF- COMMUNITY FACILITY
EXISTING USE:	CHURCH

PARKING REQUIREMENTS:	300 SEATS X 1 SPACE/3 SEATS = 100 SPACES
PARKING PROVIDED:	80 - 10' x 20' PAVED PARKING SPACES 36 - 10' x 20' GRASS PARKING SPACES 5 - 12' x 20' PAVED HANDICAP SPACES
TOTAL PARKING PROVIDED:	121 SPACES



RESIDENTIAL RC-5



NEW LIFE COMMUNITY CHURCH
 CITY OF COCONUT CREEK, FLORIDA
 FOR: NEW LIFE COMMUNITY CHURCH, INC.

DATE	REVISION
02/25/03	DELTA PARKING PER THE COMMENTS
02/25/03	BETA PER THE COMMENTS

REVISED PLANS
 SUBMITTED FOR APPROVAL
 APRIL 22, 2003

SITE PLAN

SCALE: 1/4" = 30 FT

DATE: 02/25/03

PROJECT NO. 02-117.1

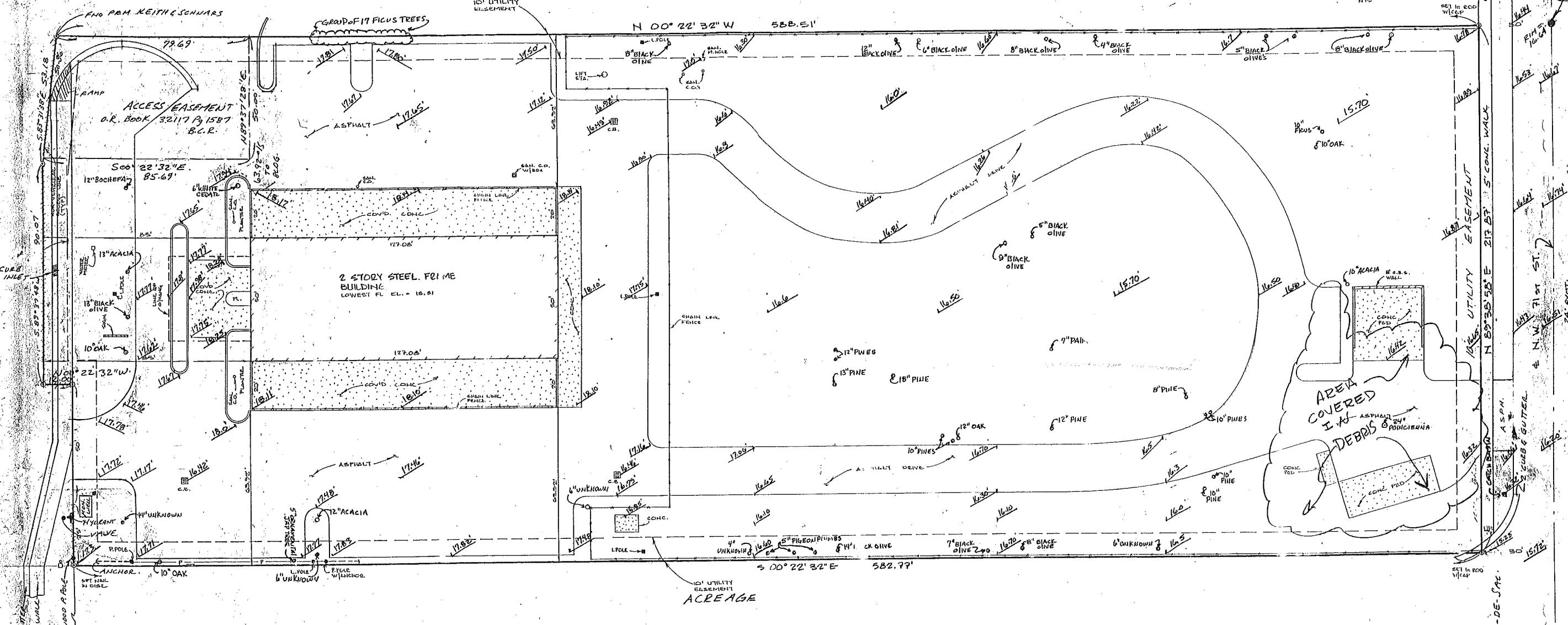
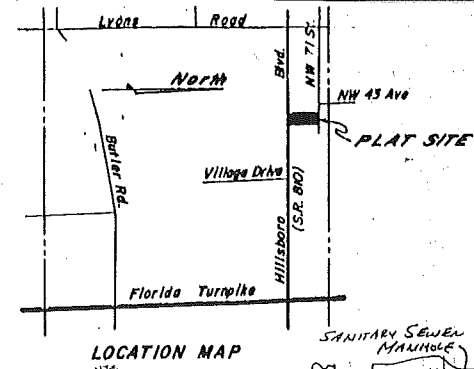
SHEET NO. 2 OF 12

SP-1

BOUNDARY SURVEY



LEDER HILLSBORO COMPANY LIMITED - PART 2
PLAT BOOK 166 PAGE 43 B.C.R.



ACREAGE

DESCRIPTION:
Parcel "A", WORKINGMAN'S NURSERY, according to the plat thereof, as recorded in Plat-Book 126, Page 22, of the Public Records of Broward County, Florida.

- SURVEYOR'S NOTES**
- All bearings of angles shown herein are based on the record plat unless otherwise noted.
 - Lines shown herein were not abstracted for easements or rights-of-way.
 - This survey meets the minimum Technical Standards as set forth in Chapter 1200-6 Florida Administrative Code.
 - This survey of the property shown herein is in accordance with the description furnished by CLIENT.
 - Markers and caps were set on all corners unless otherwise noted.
 - Field work completed on 4-15-91.
 - This survey is not valid without the Surveyor's signature and embossed seal.
 - Elevations shown herein are based on N.G.V.D. of 1929 unless otherwise noted.
 - Boundaries shown herein are based on 2 1/2\"/>
 - Date of File is 10/02/97. Base Elevation is 15.00 feet.
 - PROPERTY ADDRESS IS 4141 WEST HILLSBORO BLVD. COVINGTON, FLA.

CERTIFICATE:
I HEREBY CERTIFY THAT THE ATTACHED SKETCH OF SURVEY OF THE ABOVE DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION.
DATE APR. 15, 1991
RES. LAND SURVEYOR # 4531
STATE OF FLORIDA

4-23-91 CERTIFIED
05/01/02 UPDATE
08/24/02 TOPOTREE QUARRY
02-18-03 UPDATE

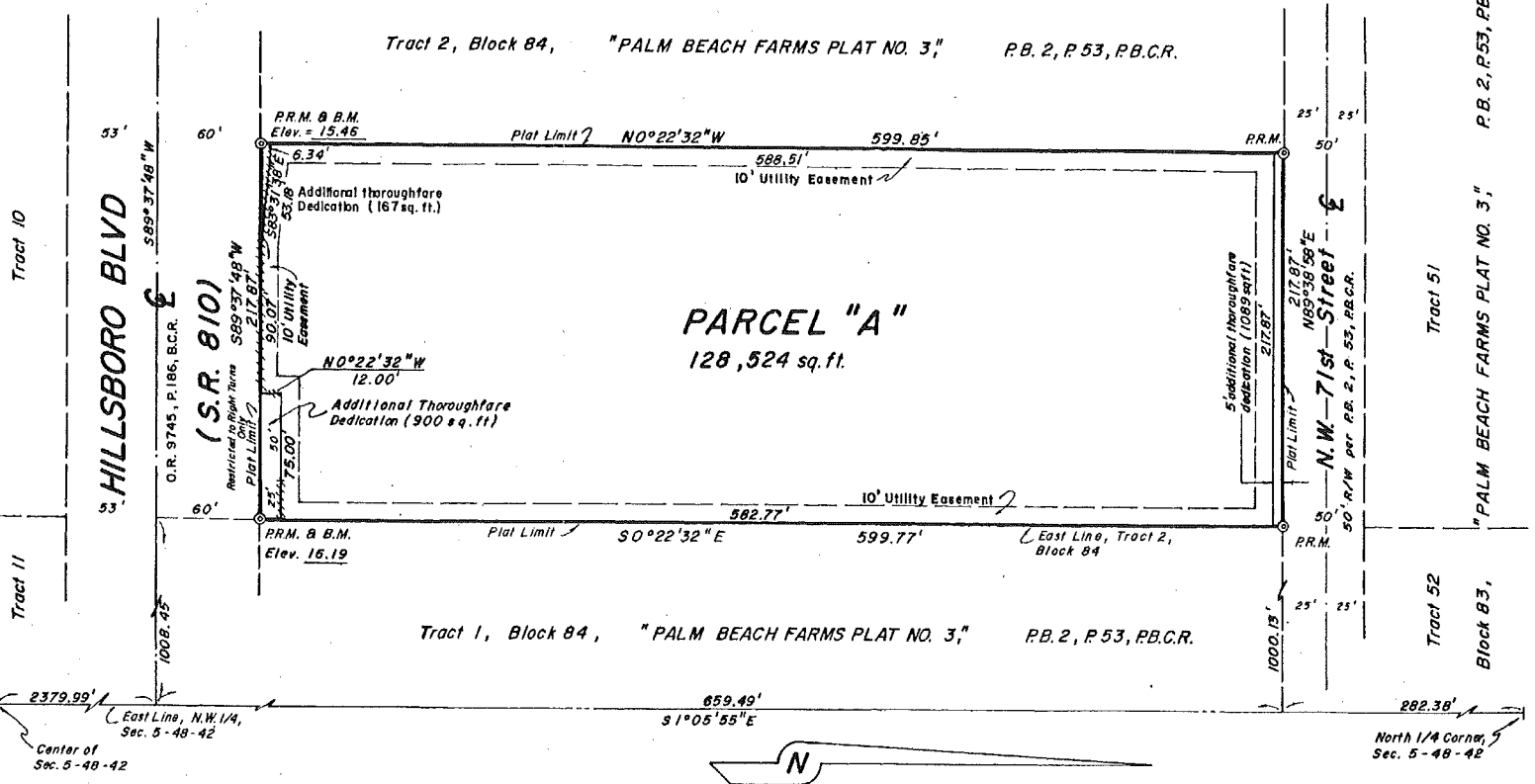
DAVIS ASSOCIATES, INC.
Consulting Civil and Environmental Engineers • Land Surveyors • Land Development Consultants • Planners

201 S.W. 15th Terrace, Suite 103A, Deerfield Beach, FL 33441
PHONE (954) 690-9102, FAX (954) 698-9722

PALM BEACH FARMS PLAT NO. 3, P.B. 2, P. 53, P.B.C.R.

Block 84, Tract 10, Tract 11

HILLSBORO BLVD (S.R. 810)

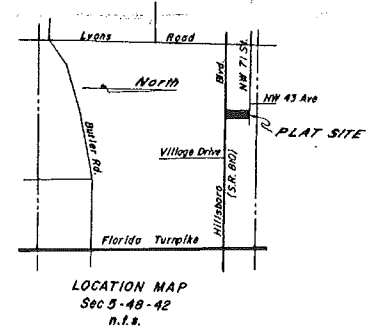


DESCRIPTION

The East 217.87 feet of Tract 2, Block 84, PALM BEACH FARMS COMPANY PLAT NO. 3, as recorded in Plat Book 2, Page 53, of the public records of Palm Beach County, Florida, LESS the South 60 feet thereof.

NOTES

© P.R.M. - indicates Permanent Reference Monument
B.M. - indicates Bench Mark
This plat contains 3.0000 acres
This plat is restricted to 8750 sq. ft. of Commercial, Convenience stores, fast food restaurants and service stations are not permitted without the approval of the Board of County Commissioners, who shall review and address these uses for increased impacts.



WORKINGMAN'S NURSERY

BEING A RESUBDIVISION OF A PORTION OF TRACT 2, BLOCK 84,
PALM BEACH FARMS COMPANY PLAT NO. 3,
PLAT BOOK 2, PAGE 53, PALM BEACH COUNTY RECORDS,
SECTION 5, TOWNSHIP 48 SOUTH, RANGE 42 EAST,
CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA



DEDICATION

STATE OF FLORIDA SS KNOW ALL MEN BY THESE PRESENTS: That ROAD 7 WORKINGMANS NURSERY, INC., a Florida Corporation, owner of the lands described and shown as included in this plat, has caused said lands to be subdivided and platted as hereon shown, said plat to be known as, WORKINGMAN'S NURSERY, being a resub-division of a portion of Tract 2, Block 84, PALM BEACH FARMS COMPANY PLAT NO. 3. The additional thoroughfares are hereby dedicated to the public in fee simple. The utility easements are hereby dedicated to the public for proper purposes

IN WITNESS WHEREOF: We hereunto set our hands and affix the corporate seal in the City of Fort Lauderdale, County of Broward, State of Florida, this 28th day of May, 1985.

ROAD 7 WORKINGMAN'S NURSERY, INC.
Witness: Edward P. Sliff as both Officer and President
Witness: Henry Swann as both Officer and Vice President

ACKNOWLEDGEMENT

STATE OF FLORIDA SS I HEREBY CERTIFY: That on this day personally appeared before me, an officer duly authorized COUNTY OF BROWARD by law to administer oaths and take acknowledgements, Edward P. Sliff and Henry Swann, President and Vice President, respectively of ROAD 7 WORKINGMANS NURSERY, INC., to me well known to be the individuals described in and who executed the foregoing dedication, and they acknowledged before me that they executed the same freely and voluntarily, for uses and purposes therein expressed
WITNESS: My hand and official seal in the City of Fort Lauderdale, County of Broward, State of Florida, this 28th day of May, 1985.
My commission expires the 19th day of May, 1986. Notary Public: Diana G. Campbell, State of Florida

CITY PLANNING AND ZONING BOARD

THIS IS TO CERTIFY: That this plat has been approved by the Planning and Zoning Board of the City of Coconut Creek, Florida, this 19 day of January, 1986.
By: Chairman

CITY COUNCIL

THIS IS TO CERTIFY: That this plat has been approved for record by the City of Coconut Creek, Florida, by Ordinance No. 102-86, adopted this 23rd day of January, 1986, pursuant to Ordinance No. 900.
By: City Clerk

CITY ENGINEER

This plat is hereby approved for record, this 28th day of Jan, 1986.
By: Thomas Lee, Fla. P.E. Reg No. 53904

BROWARD COUNTY ENGINEERING DIVISION

This plat has been approved and accepted for record By: Robert L. Thompson, Robert L. Thompson Date: 2-20-86 County Surveyor Fla. P.L.S. Reg. No. 3869

BROWARD COUNTY PLANNING COUNCIL

THIS IS TO CERTIFY: That the Broward County Planning Council approved this plat with regard to dedication of Rights-of-Way for Traffic Ways by Resolution duly adopted this 28th day of March, 1985. By: this 25th day of July, 1985

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - MINUTES SECTION

THIS IS TO CERTIFY: That this plat complies with the provisions of Chapter 177, FLORIDA STATUTES, and was accepted for record by the Board of Commissioners of Broward County, Florida, this 3rd day of SEPTEMBER 1985. F.T. JOHNSON - COUNTY ADMINISTRATOR
By: Deputy

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - RECORDING SECTION

This plat filed for record this 24th day of February, 1986, in BOOK 126 of PLATS, at Page 22, record verified F.T. JOHNSON - COUNTY ADMINISTRATOR By: Deputy

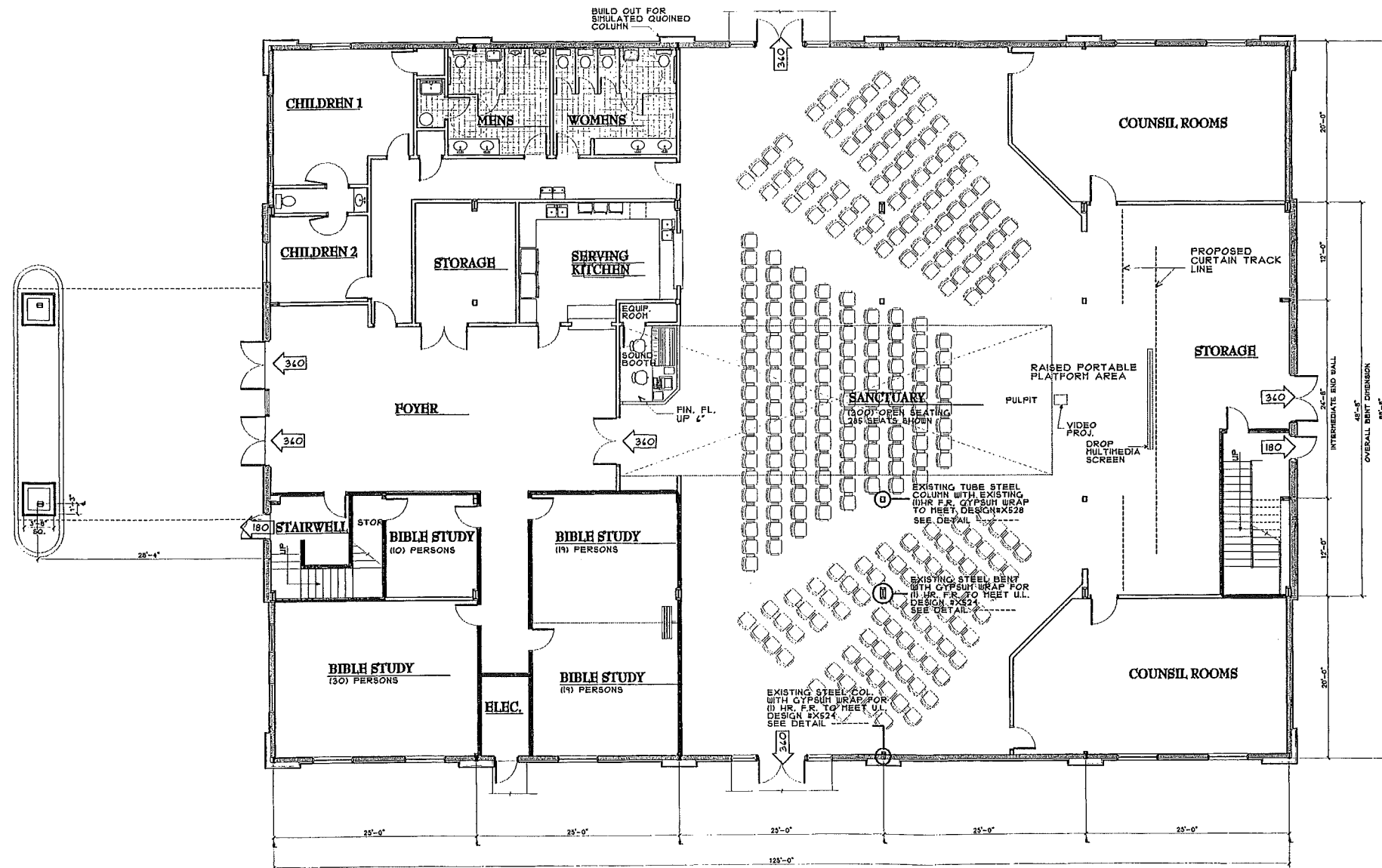
SURVEYOR'S CERTIFICATE

STATE OF FLORIDA SS I HEREBY CERTIFY: That the attached plat, is a true and correct representation of the lands recently surveyed, subdivided and platted under my COUNTY OF BROWARD responsible direction and supervision, that the survey data shown complies with the applicable requirements of Chapter 177, F.L.S. STATUTES, A.D. 1971, and further that the PERMANENT REFERENCE MONUMENTS (P.R.M.'S) were set in accordance with Section 17.091 of said Chapter 177, on this 28th day of JANUARY, 1985. The BENCH MARKS shown are reference to N.G. VERTICAL DATUM and conform to standard for third order work.

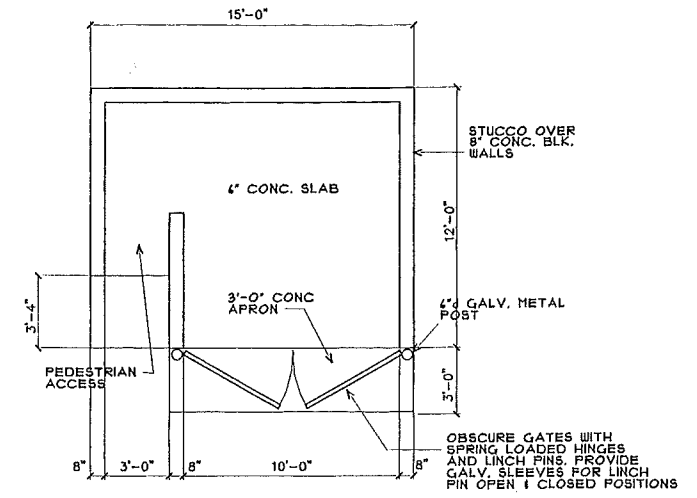
This plat dated at Fort Lauderdale, Florida, this 29 day of MAY, 1985. BY: M. McLaughlin, Registered Land Surveyor No. 2021, State of Florida.

DR. BL 13102 FG 421

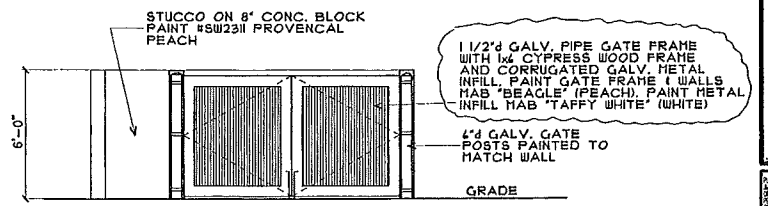
BUILDING GENERAL INFORMATION
 OCCUPANCY TYPE = A2 - SMALL ASSEMBLY, NO PROSCENIUM
 FLOOR AREA (GROSS)
 FIRST FLOOR = 11,375
 SECOND FLOOR = 6,291
 TOTAL = 17,566 sqft
 ALLOWABLE AREA FOR TYPE V UNPROTECTED 3 STORIES = 16,000
 ALLOWABLE FLOOR AREA INCREASE PER FBC 503.3.2 = 2,735 sqft
 TOTAL ALLOWABLE AREA TYPE V UNPROTECTED = 18,735
 BUILDING TO BE FULLY SPRINKLED



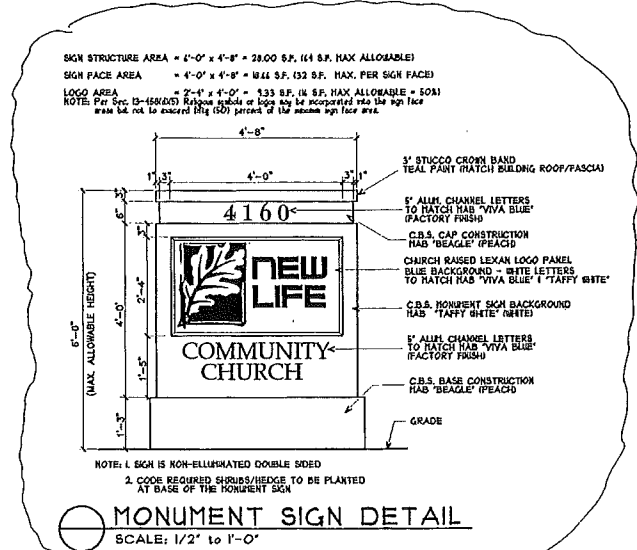
FIRST FLOOR PLAN
 SCALE: 1/8" to 1'-0"



PLAN
 SCALE: 1/4" to 1'-0"



ELEVATION
 SCALE: 1/4" to 1'-0"



MONUMENT SIGN DETAIL
 SCALE: 1/2" to 1'-0"

REVISIONS:
 04-22-03 PER DRC 2nd REVIEW SIKAL

JMS DESIGN INC.
 211 S. FEDERAL HWY., BOYNTON BEACH, FLA 33435
 SUITE 11, TEL. (561) 735-9890 FAX (561) 735-9892
 AA-00008881
ARCHITECTS & CONSULTANTS

PLEASE SEE SPECIFICATIONS FOR THE DETAILS OF THE SIGN STRUCTURE. THE SIGN STRUCTURE IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY. THE SIGN SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES. THE SIGN SHALL BE REMOVED AT THE END OF THE PROJECT. THE SIGN SHALL BE REPAIRED OR REPLACED AS NECESSARY. THE SIGN SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.

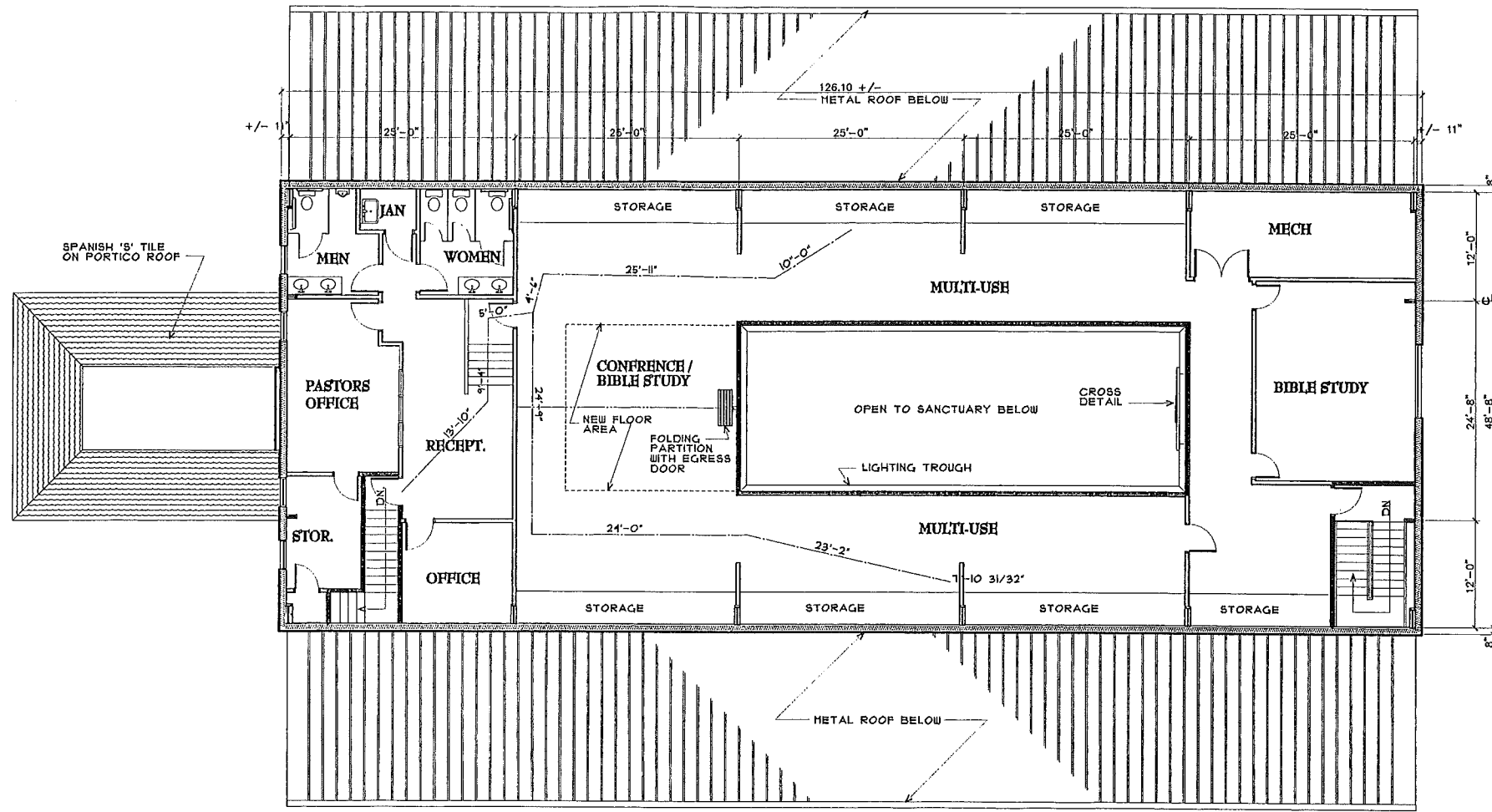
DataCAD

NEW SANCTUARY
 4161 West Hillsboro Blvd.
 Coconut Creek, FL
 COMMUNITY CHURCH



SEAL

MICHAEL E. SPILLA REG. ARCH. 00010225
 DATE: 01/30/03 PROJECT #: 02066
 SHEET: A.5 of 12
 PLOT DATE: 1/22/03



SECOND FLOOR PLAN
SCALE: 1/8" to 1'-0"

REVISIONS:

JMS DESIGN INC.
211 S. FEDERAL HWY. BOYNTON BEACH, FL. 33435
SUITE 11, TEL. (561) 735-9890 FAX (561) 735-9892
AA-0002881
ARCHITECTS & CONSULTANTS

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NEW SANCTUARY
4161 West Hillsboro Blvd.
Coconut Creek, FL

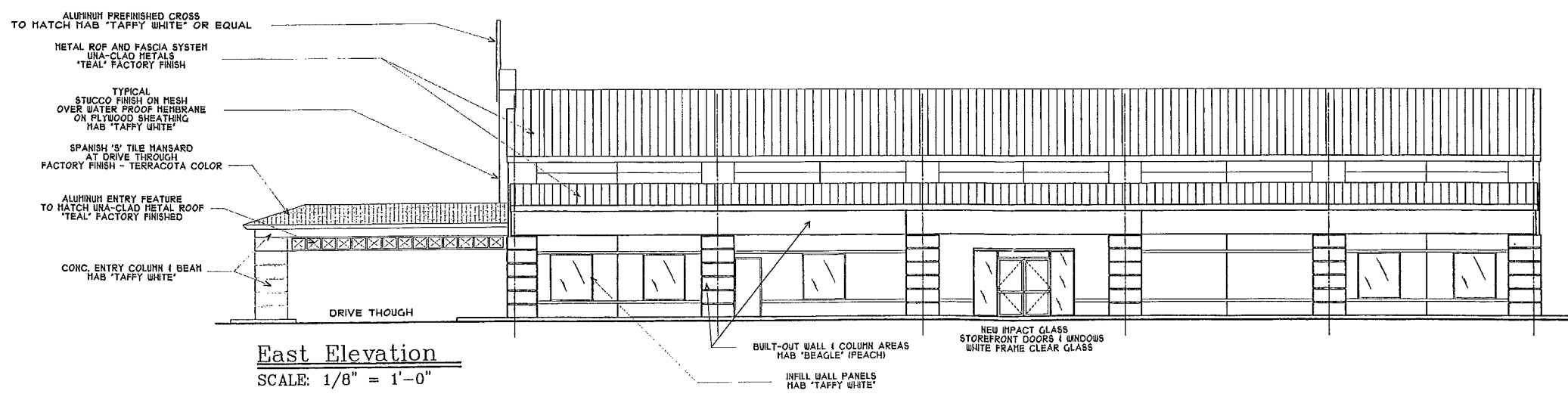
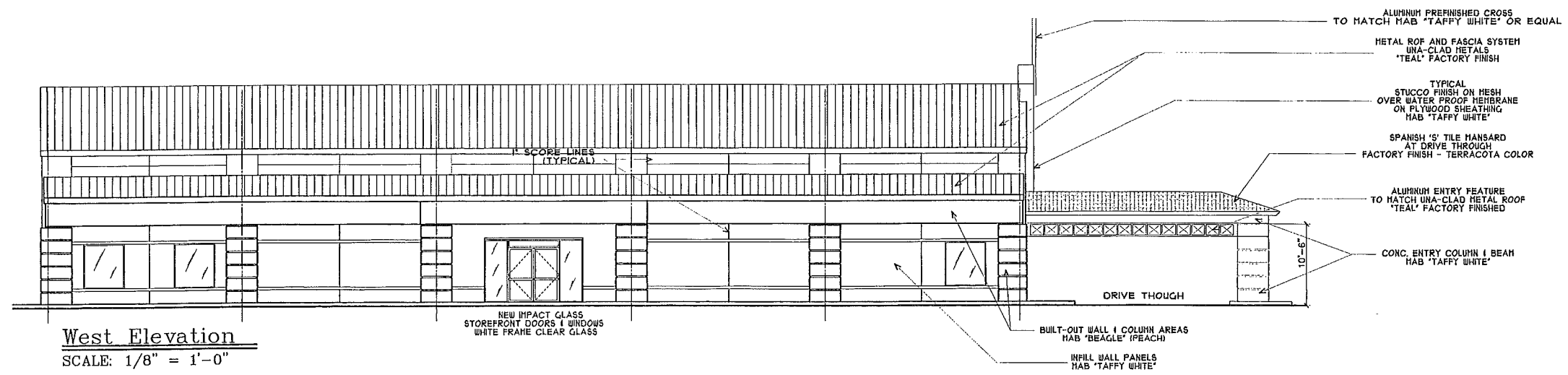
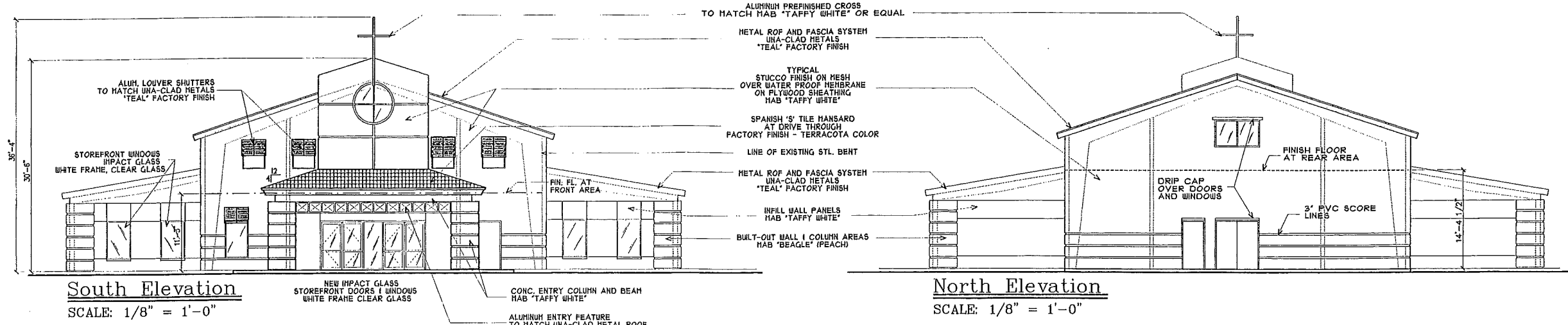


SEAL
MICHAEL E. SPOLA REG. NO. AR0011023

DATE: 01/30/03 PROJECT #: 02066

SHEET: A.6 of 12

PLOT DATE: 3/27/03



REVISIONS:

01-22-03 PER DRC 2nd REVIEW	FINISHES
-----------------------------	----------

JMS DESIGN INC.
 211 S. FEDERAL HWY. BOYNTON BEACH FLA 33435
 SUITE 11, TEL. (561) 735-9980 FAX (561) 735-9992
 AA-0002881

ARCHITECTS & CONSULTANTS

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NEW SANCTUARY
 4161 West Hillsboro Blvd.
 Coconut Creek, FL

NEW LIFE
 COMMUNITY CHURCH

SEAL

MICHAEL E. SIPULA REG. NO. AR0010226

DATE:	PROJECT #
01/30/03	02066
SHEET:	
A.7of12	

PLOT DATE: 4/23/03

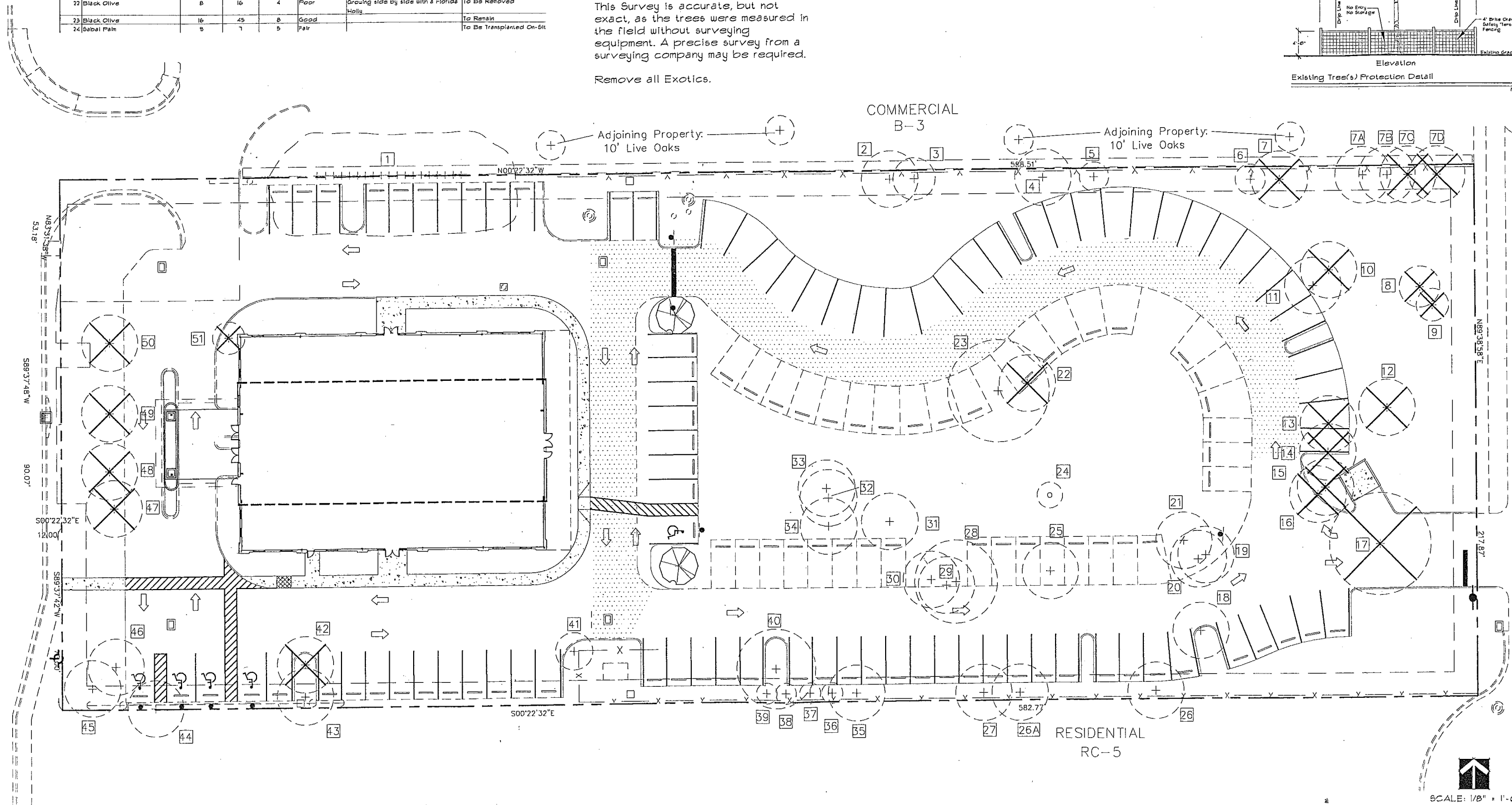
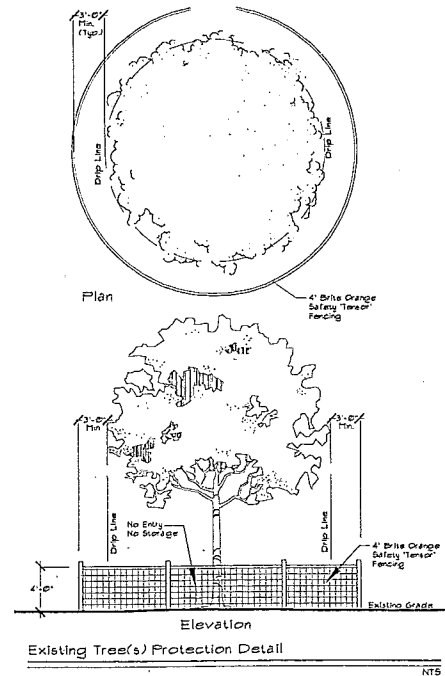
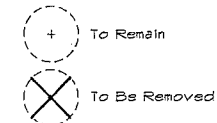
New Life Community Ch. Existing Trees List						
Species	Height (OA In Feet)	Spread (In Feet)	Cal. (In Inches)	Condition	Notes	Recommendation
1 Ficus benjamina Mess	50	100	10	Good	Obviously planted as a hedge 3' oc and has grown into a 50' high wall	To Remain unless the City has other issues
2 Black Olive	25	25	8	Fair		To Remain
3 Black Olive	18	15	5	Fair		To Remain
4 Black Olive	20	18	8	Fair		To Remain
5 Black Olive	14	8	3	Fair		To Remain
6 Black Olive	14	12	6	Fair		To Remain
7 Black Olive	25	18	6	Fair	Growing side by side with a Florida Holly	To Be Removed
7A Black Olive	30	15	6	Fair		To Remain
7B Black Olive	30	15	6	Fair		To Remain
10 Black Olive	40	20	10	Fair	Undesirable Species	To Be Removed
10A Black Olive	50	20	8	Fair	Undesirable Species	To Be Removed
8 Dalbergia	30	15	6	Fair	Undesirable Species	To Be Removed
9 Dalbergia	20	10	4	Fair	Undesirable Species	To Be Removed
10 Ficus benjamina	25	25	14	Good	Undesirable Species	To Be Removed
11 Live Oak	20	20	8	Good	Trim up to 8-10' c.i.	To Remain
12 Earleaf Acacia	50	30	8-14	Fair	Undesirable Species	To Be Removed
13 Earleaf Acacia	50	30	8-14	Fair	Undesirable Species	To Be Removed
14 Earleaf Acacia	50	30	8-14	Fair	Undesirable Species	To Be Removed
15 Earleaf Acacia	50	30	8-14	Fair	Undesirable Species	To Be Removed
16 Earleaf Acacia	50	30	8-14	Fair	Undesirable Species	To Be Removed
17 Royal Poinciana	40	40	14	Good		To Remain
18 Slash Pine	60	15	12	Good		To Remain
19 Slash Pine	60	15	14	Good		To Remain
20 Slash Pine	60	15	10	Good		To Remain
21 Slash Pine	60	15	12	Good		To Remain
22 Black Olive	8	16	4	Poor	Growing side by side with a Florida Holly	To Be Removed
23 Black Olive	16	45	8	Good		To Remain
24 Sabal Palm	9	7	5	Fair		To Be Transplanted On-Site

25 Slash Pine	60	15	12	Good		To Remain
26 Plum	20	14	6	Fair	10' Existing Canopy	To Remain
26A Black Olive	20	15	6	Fair		To Remain
21 Black Olive	20	15	6	Fair		To Remain
28 Live Oak	40	40	18	Good		To Remain
29 Slash Pine	60	15	10	Good		To Remain
30 Slash Pine	60	15	10	Good		To Remain
31 Slash Pine	60	15	16	Good		To Remain
32 Slash Pine	60	15	10	Good		To Remain
33 Slash Pine	60	15	12	Good		To Remain
34 Slash Pine	60	15	14	Good		To Remain
35 Black Olive	30	30	8	Good		To Remain
36 Plum	12	8	4	Good		To Remain
37 Plum	12	8	5	Good		To Remain
38 Plum	16	8	5	Good		To Remain
39 Plum	12	8	5	Good		To Remain
40 Black Olive	30	30	10	Very Good		To Remain
41 Apple	15	12	6	Fair	Undesirable Species	To Be Removed
42 Earleaf Acacia	25	30	8	Fair	Undesirable Species	To Be Removed
43 Plum	12	8	5	Good		To Remain
44 Live Oak	30	30	10	Good		To Remain
45 Black Olive	20	20	8	Fair		To Remain
46 Blacofia	30	30	28	Fair		To Remain
47 Black Olive	30	30	10	Good	Adjacent to OH Power Lines	To Be Removed
48 Black Olive	30	30	10	Good	Adjacent to OH Power Lines	To Be Removed
49 Earleaf Acacia	25	30	8	Fair	Undesirable Species	To Be Removed

NOTE:
This Survey is accurate, but not exact, as the trees were measured in the field without surveying equipment. A precise survey from a surveying company may be required.

Remove all Exotics.

Existing Tree Legend



THOMAS WHITE, P.L.A.
Landscape Architect #100
2600 NE 27th Avenue
FORT LAUDERDALE, FLORIDA 33306
954-566-0985

THOMAS WHITE
L.A. # 1000
Revision Dates

Tree Survey
New Life Community Church
Hillsboro Blvd.
Coconut Creek, Florida

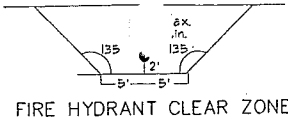
Sheet Description
Tree Survey
Release Date
2-24-03
Project Number
Drawing Number
8
SHEET 8 OF 12



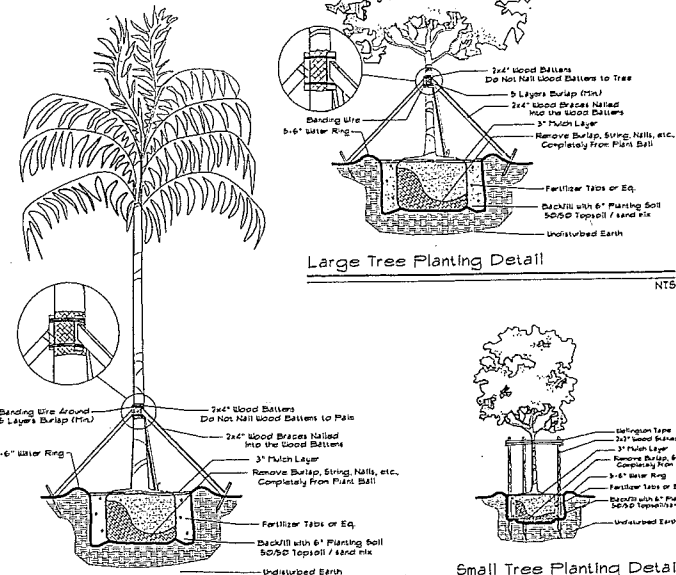
CITY OF COCONUT CREEK
STANDARD LANDSCAPE NOTES

- All landscape and specifications shall meet or exceed the minimum requirements as provided in the City of Coconut Creek Land Development Code. Plans are incomplete without written notes and specifications.
- All planting material shall meet or exceed Florida Grade #1 as specified in Grades and Standards for Nursery Plants, current edition. Trees shall not be tipped, topped, or shaped prior to installation.
- Landscape shall be placed to edge of abutting streets, alleys, lakes or other lands.
- All mechanical equipment, air conditioning, irrigation pump stations and equipment, FPL transformers, pool pumps, etc., must be screened on three (3) sides by landscape shrubs.
NOTE: The quantity of screening shrubs is in addition to the required number of shrubs as provided in the code calculation table. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust on-center spacing as necessary and/or provide additional plants to provide an adequate screen.
- Sight distance concerns must be maintained for clear sight visibility from thirty (30) inches to seventy-two inches, tree trunks excluded. Measurement shall be made from top of root ball planted at proper elevation.
- Guying/staking practices shall not permit nails, screws, wires, etc., to penetrate outer surfaces of trunks, palms or other plant material. Trees, palms and plant material rejected due to this practice shall be replaced with the inspector on site.
- Buttup material, wire cages, plastic/canvas straps, etc., must be cut and removed for the top one-half (1/2) depth of the root ball. Trees and shrubs grown in grow bags or grow bag type material must have such material REMOVED ENTIRELY prior to planting the tree or shrub.
- All plant material shall be free of pests, insects, disease, weeds, etc.
- All required landscape material shall be installed using a planting soil mix comprised of a type appropriate to the individual proposed plant material and the native soil found on the site.
- All plant material shall be planted at the proper depth, as originally grown and/or to the top of the root ball is flush or slightly above finished grade immediately after planting. All trees should provide trunk taper when properly planted at the correct planting depth.
- All plant material shall be watered in at time of planting to eliminate air pockets in the root zone area.
- Color-treated or dyed mulch will not be accepted.
- Upon completion of work, the site shall be cleared of all debris, superfluous materials, and equipment caused by this permit to the satisfaction of the inspector.
- Refer to Coconut Creek Fire Equipment Oar Zone diagram to maintain a safe zone from fire hydrants.
- Do not plant trees, shrubs or groundcover within Electric Meter Clear Zone. Provide a safe zone as described by the Electrical Inspector.
- All landscaped areas shall be provided with an underground fully automatic irrigation system using pop-up sprinklers. System shall provide 100% coverage with a 10% overlap (minimum) using mist free water, except protected areas remaining in natural state. A rain sensor device or switch shall be installed that will override the irrigation system when adequate rainfall has occurred. Water shall not be directed and/or provided onto impervious surfaces and/or be designed or installed to throw water over an impervious surface such as a sidewalk, etc. Hours of operation for all irrigation systems shall be limited to 5:00 p.m. to 8:00 a.m. only or as may be further restricted by South Florida Water Management District or other jurisdictional agencies.
- Irrigation permits and plans shall be submitted for approval at time of building permits.
- All non-single family or duplex irrigation systems other than City water systems shall require a South Florida Water Management District water use permit prior to issuance of an irrigation permit and installation of the irrigation system as required.
- All site amenities to include site street lights, landscape common open space, irrigation common open space, buffers, berms, landscape entry features, etc. leading up to and including the model center and/or first certificate of occupancy must be completed and functional prior to issuance of the first requested certificate of occupancy.
- The height of all required berms shall be from the highest adjacent point whether it is the sidewalk, parking area, vehicular use area, surrounding ground, etc. Where a berm abuts a sidewalk, there shall be a one (1) foot level sod area adjacent to the sidewalk prior to the start of incline for the berm.

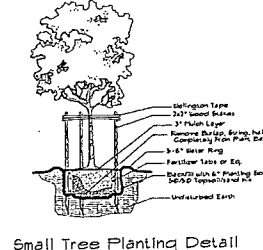
NOTE: THIS COMMENT SHEET IS TO BE PLACED ON ALL LANDSCAPE PLANS "AS IS".
V:\DC\land\development\services\land\documents\Standard Landscape Notes.doc



FIRE HYDRANT CLEAR ZONE



Palm Planting Detail



Small Tree Planting Detail

COCONUT CREEK LANDSCAPE REQUIREMENTS SUMMARY

Commercial/Industrial districts abutting residential districts:
Required: Tree (3) trees per one hundred (100) lineal feet and a continuous hedge.
360 lineal feet divided by 3 = 12 trees
Provided: 12 trees and a continuous hedge. One (1) sq. ft. of landscaped area for each tree.

A minimum five foot landscaped buffer shall be located around the perimeter of the project.

Landscaping adjacent to street rights of way:
Required: A 10' wide landscape strip with one (1) tree every forty (40) lineal feet and a visual screen three (3) feet in height, 700 divided by 40 = 17.5 trees.
Provided: 18 trees and a three (3) feet tall continuous hedge / berms.

Perimeter Landscaping:
Required: One (1) tree for every forty (40) lineal feet and a continuous hedge, 1600 lineal feet divided by 40 = 40 trees
Provided: 40 trees and a continuous hedge

Screening for storage areas, dumpsters and mechanical equipment required to be Required: to be screened on 3 sides.
Provided: Screened on 3 sides.

Interior Landscape requirements for vehicular use area:
Required: One (1) tree for every ten (10) parking spaces. One (1) sq. ft. of landscaped area for each one hundred (100) sq. ft. of paved area. (2) parking spaces divided by 10 = 2 trees. Provided: 38 trees (includes Existing).

Street Trees: Street trees shall be placed in public rights of way of fifty (50) feet in width. Required: One (1) tree per every forty (40) lineal feet of frontage. 700 lineal feet divided by 40 = 17.5 trees.
Provided: 18 trees (includes Existing).

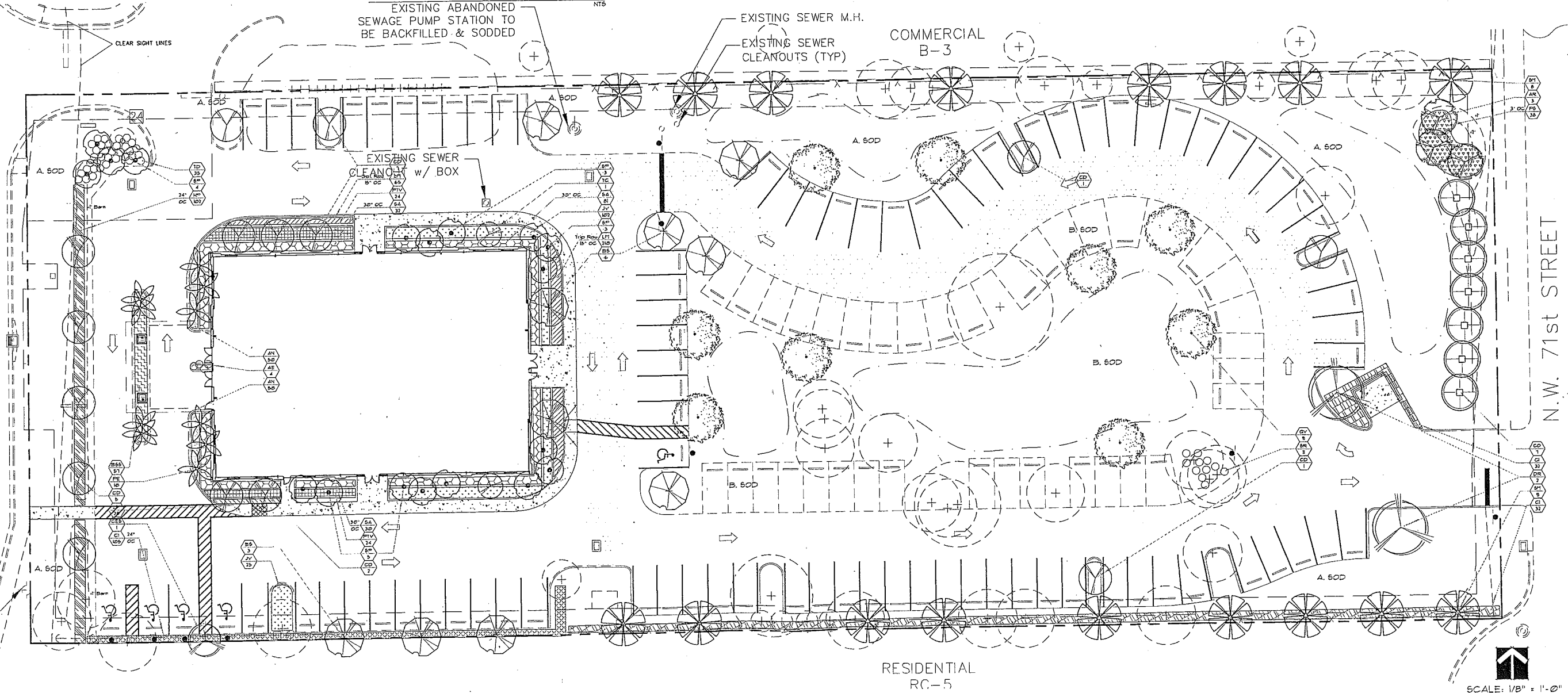
Typical Plant Spacing

NOTE: All shrub and groundcover species to use triangular spacing except as a singular hedge row or where noted. Refer to the plant list for individual plant spacing.

FRONT

LIFE COMMUNITY CHURCH PLANT LIST

Code	QTY.	Botanical Name / Common Name	Specification
TREES / PALMS			
AR	(N)	3 M Acer rubrum / Florida Red Maple	B1B Field Grown, 12" X 5-6", 2" DBH, single straight leader.
BS	(N)	5 V Bursaria sinuata / Gumbo Limbo Tree	B1B Field Grown, 12" X 5-6", 2" DBH, single straight leader.
CD	(N)	5 V Coccoloba diversifolia / Pigeon Plum	B1B Field Grown, 12" X 5-6", 2" DBH, single straight leader.
CEB	(N)	1 V Conocarpus erectus var. verticillatus / Silver Buttonwood	B1B Field Grown, 10" X 5-6", 2" DBH, multi trunk.
CO	(N)	1 V Cryptanthus ciliatiformis / Saltic Leaf	B1B Field Grown, 12" X 5-6", 2" DBH, single straight leader.
CR	(N)	2 V Delonix regia / Royal Poinciana	B1B Field Grown, 12" X 5-6", 2" DBH, single straight leader.
FE	(N)	10 V Pycnosperma elegans / Sultaire Palm	B1B Field Grown, 10" GA, 3" cal, single trunk.
GV	(N)	3 V Quercus virginiana / Live Oak	B1B Field Grown, 12" X 5-6", 2" DBH, single straight leader.
54	(N)	7 V Swietenia mahagoni / Mahogany	B1B Field Grown, 12" X 5-6", 2" DBH, single straight leader.
56	(N)	5 V Sabal palmetto / Cabbage Palm	B1B Field Grown, 12-16-20" CT, staggered hts.
TC	(N)	1 V Tabebuia caroliniana / Yellow Turpentine Tree	B1B Field Grown, 10" X 4-5", 2" DBH, single leader.
ACCENTS / SHRUBS / GROUND COVERS			
AE	4	V Aspidistra elatior / Cast Iron plant	1 Gal, 18" OC.
AN	120	Annuals / Seasonal	4" Pot, 12" OC.
B59	57	V Bougainvillea sp. 'Dwarf' / Red Dwarf Bougainvillea	3 Gal, 2" OC.
CI	(N)	321 M Cryptanthus lobosus / 'Red Tip' Coccoloba	3 Gal, 24" GA, 2" OC.
HP	102	M Hesperaloe parviflora / Fire Bush	3 Gal, 3" OC.
JV	17	M Jasminum volubile / Wax Jasmine	3 Gal, 18" X 18", 2" OC.
LP	303	V Liriodendron tulipifera / Liriodendron 'Evergreen Giant'	1 Gal, 18" OC.
PS	38	M Philodendron sellowii / Split Leaf Philodendron	3 Gal, 3" OC.
PTV	48	M Pittosporum tobira var. 'Variegated' / Variegated Pittosporum	3 Gal, 24" GA, 2" OC.
SA	143	M Schefflera arboricola / Green Dwarf Schefflera	3 Gal, 24" GA, 2" OC.
SD	(N)	V Senecio repens / Saw Palmetto	3 Gal, 4" OC.
TR	(N)	35 M Tripsacum dactyloides / Flaxchute Grass	3 Gal, 24" 30" GA, 3" OC.
MISCELLANEOUS			
A. SOD	5F.	M Stenotaphrum secundatum / St. Augustine Floratex	Solid application - no gaps between seams
B. SOD	5F.	V Paspalum notatum / Bahia - Sand Green	Solid application - no gaps between seams
SOIL	40	C.R. 50/50 MIX	Sand / Topsoil
(N) Denotes Florida Native Species (+) Denotes Low Drought Tolerant (M) Denotes Medium Drought Tolerant (V) Denotes Very Drought Tolerant			



THOMAS WHITE, RLA
Landscape Architect #1000
2600 NE 27th AVENUE
FORT LAUDERDALE, FLORIDA 33306
954-566-0999

THOMAS WHITE
C.A. # 1181
4-21-03
Revision Dates

Landscape Plan
New Life Community Church
Hillsboro Blvd.
Coconut Creek, Florida

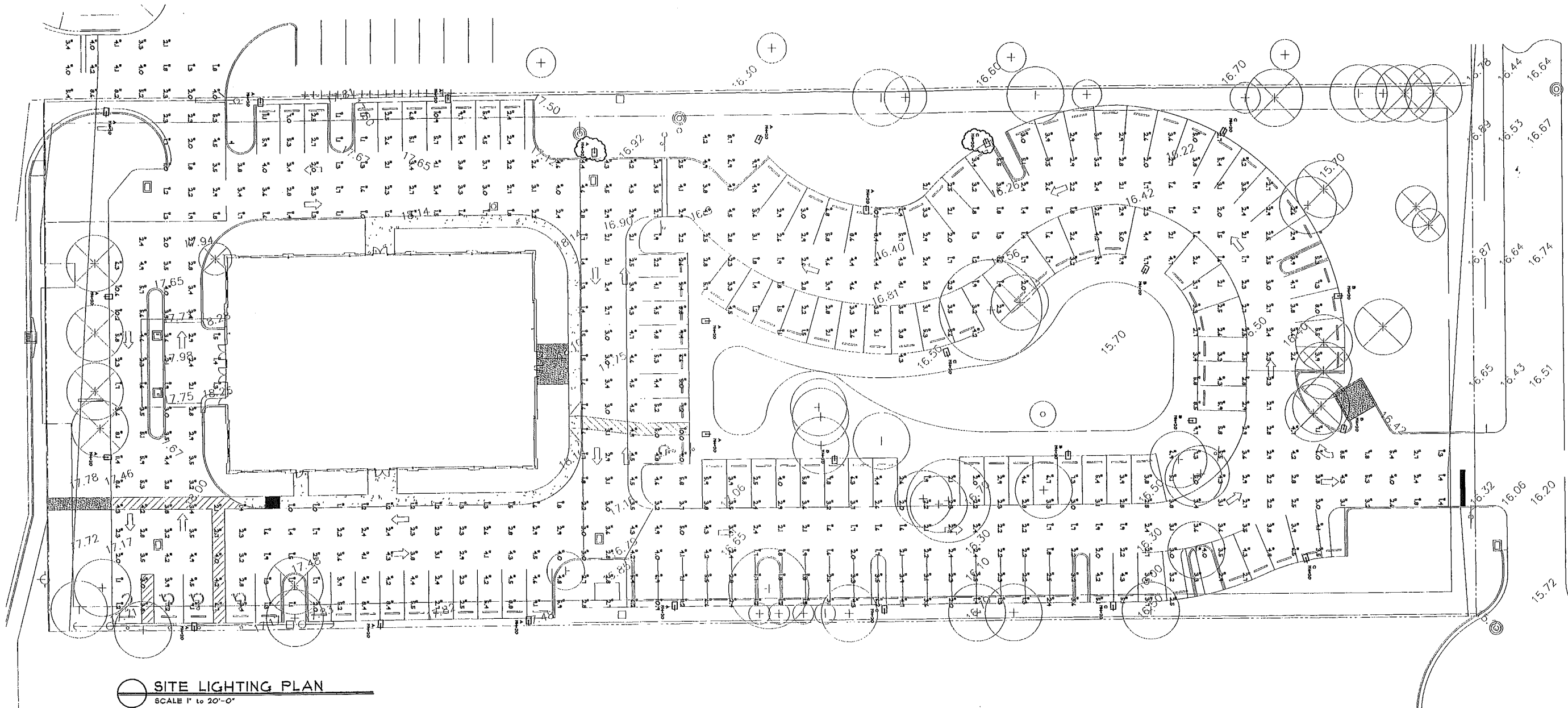
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Landscape Plan

Release Date
2-24-03

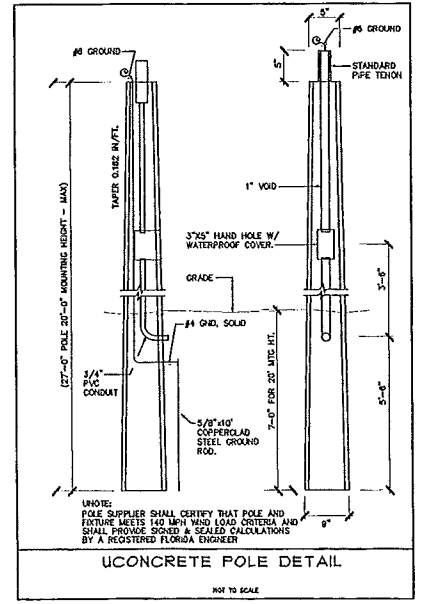
Project Number

Drawing Number
9

SHEET 9 OF 12



SITE LIGHTING PLAN
SCALE 1" = 20'-0"



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lumens	LF	Description
1	1	A	SINGLE	30000	0.120	LSI # CH1-FT-400-1H-F / 20" RH Concrete Pole
2	1	B	SINGLE	30000	0.120	LSI # CH1-3-100RH-F-1H85 / 20" RH Concrete Pole
3	1	C	SINGLE	30000	0.120	LSI # CH1-3-100RH-F / 20" RH Concrete Pole

Fixture Summary						
Label	Qty	CalcType	Units	Avg	Max	Min
Project: All Projects						
Parting		Manufacturer	Ft	3.45	8.4	1.0
				Avg/Fin	Max/Fin	
				3.45	8.40	



REVISIONS:
04-22-03 PER DRC 2nd REVIEW

JMS DESIGN INC.
211 S. FEDERAL HWY. BOYNTON BEACH FLA 33435
SUITE 11, TEL. (561) 735-8800 FAX (561) 735-9892

ARCHITECTS & CONSULTANTS

NEW SANCTUARY
4161 West Hillsboro Blvd.
Coconut Creek, FL

NEW LIFE
COMMUNITY CENTER

MICHAEL E. SPOLA REG. NO. AR001036

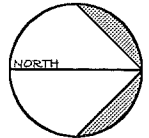
DATE: 01/30/03 PROJECT #: 02066

SHEET: 10 of 12

NOTES
 1. REFER TO LANDSCAPING PLANS FOR TREE REMOVAL/RELOCATION INFORMATION.
 2. REFER TO ARCHITECTURAL PLANS FOR BUILDING MODIFICATIONS.

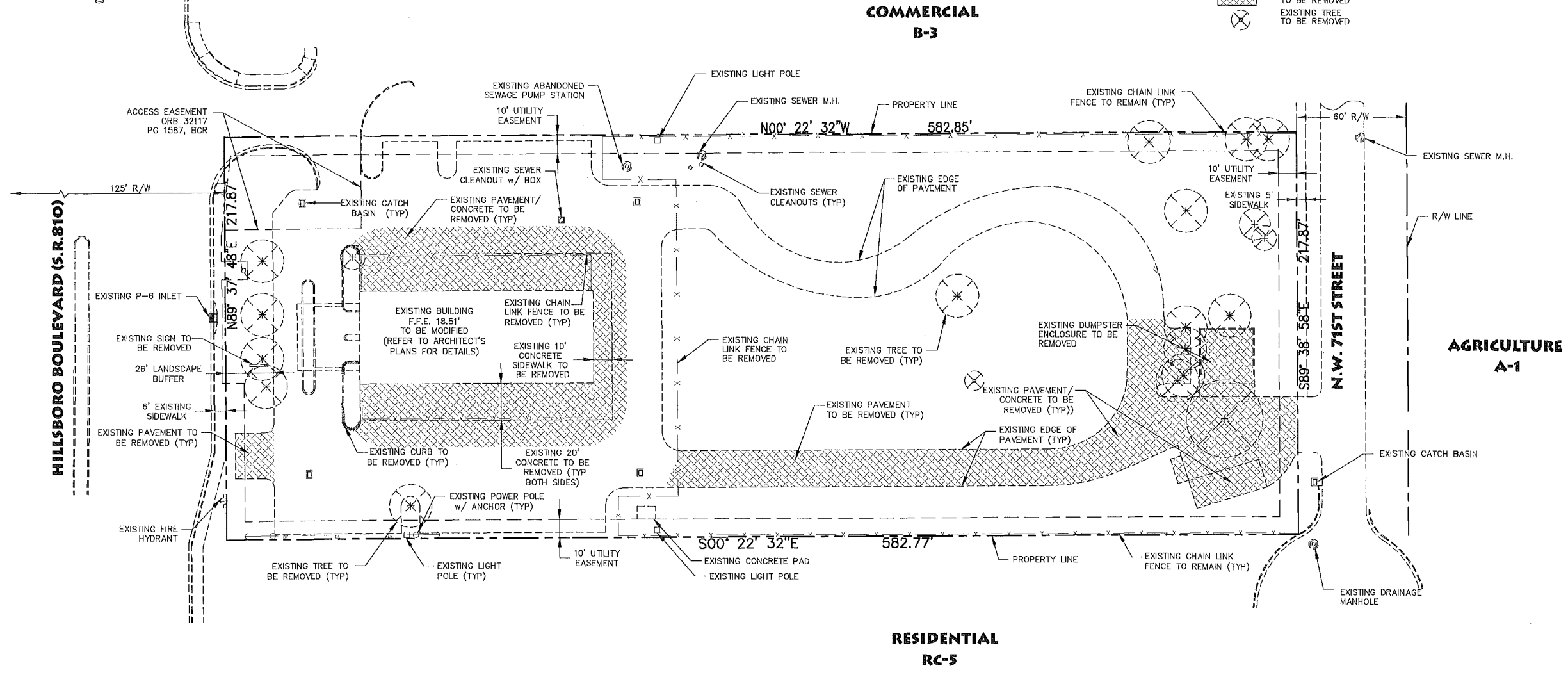
LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- R/W LINE
- SECTION LINE
- x - x - EXISTING FENCE
- - - EXISTING EDGE OF PAVEMENT
- [Hatched Box] PAVEMENT/CONCRETE TO BE REMOVED
- (X) EXISTING TREE TO BE REMOVED



CORDOVA MENDEZ DESIGN GROUP INC.
 ENGINEERS • PLANNERS

P.O. BOX 328, 320 S. FLORINGO ROAD
 PENSACOLA, FL. 32507 Tel: (904) 435-5145
 Fax: (904) 435-1584



NEW LIFE COMMUNITY CHURCH
 CITY OF COCONUT CREEK, FLORIDA
 FOR: NEW LIFE COMMUNITY CHURCH, INC.

NO.	REVISION	DATE

REVISED PLANS
 SUBMITTED FOR APPROVAL
 APRIL 22, 2003

DEMOLITION PLAN

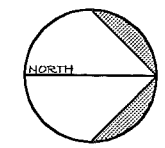
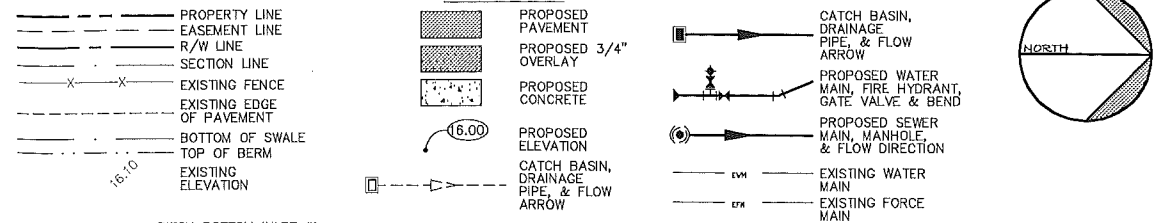
SCALE: 1 IN = 30 FT
 DATE: 03/25/03
 PROJECT NO. 02-117.1
 SHEET NO. DEM-1 SH. 11 OF 12

NOTES

- EXISTING WHEEL STOPS CAN BE REUSED IF FOUND TO BE IN AN ACCEPTABLE CONDITION BY OWNER AND CITY.
- EXISTING ISLANDS SHALL BE CURBED.
- THE FIRE HYDRANT, DOUBLE DETECTOR CHECK VALVE AND FIRE DEPARTMENT CONNECTION SHALL BE LOCATED WITHIN 10' OF EACH OTHER.

COMMERCIAL B-3

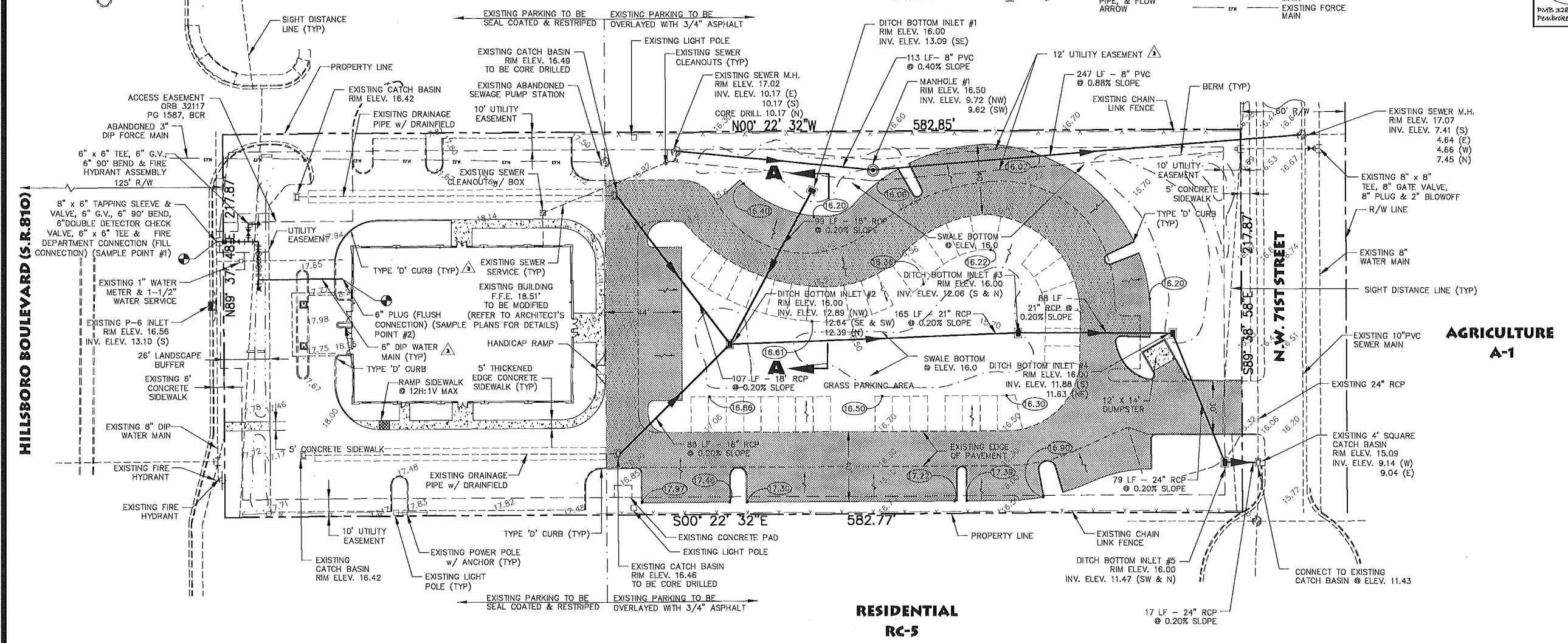
LEGEND



CORDOVA MENDEZ DESIGN GROUP INC.

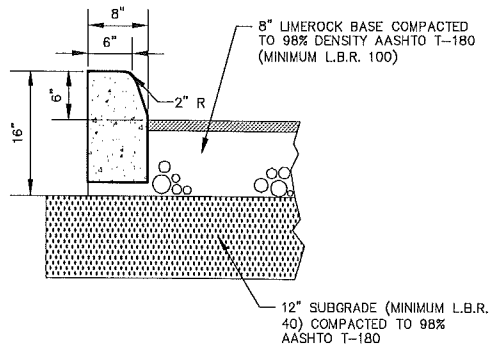
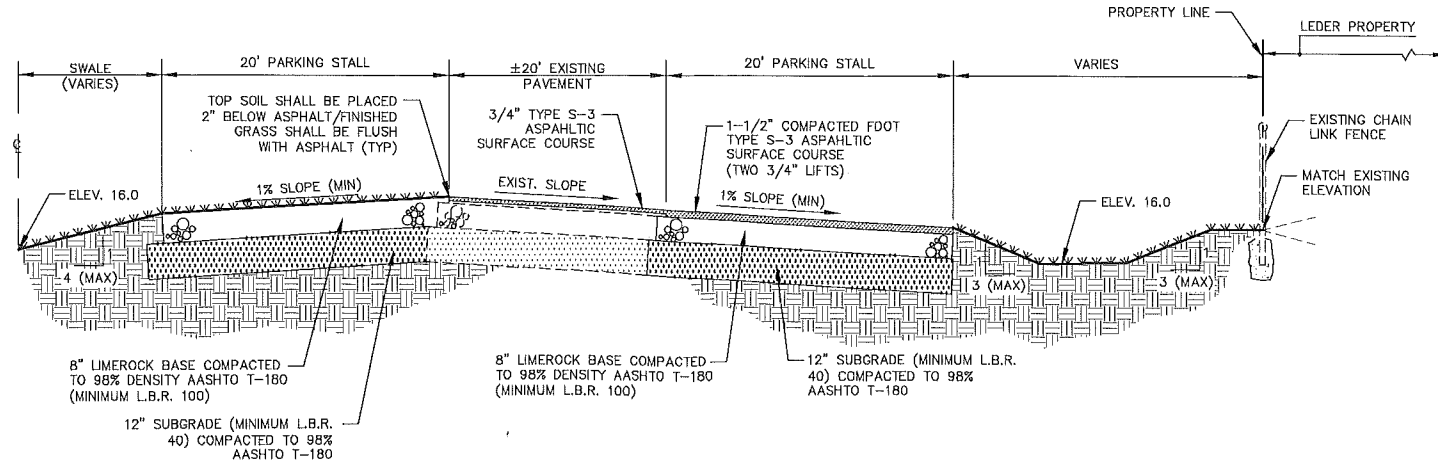
ENGINEERS • PLANNERS

PMB. 322, 320 S. Flamingo Road Tel: (954) 435-5445
Pembroke Pines, FL 33027 Fax: (954) 435-1584



NOTES:

- CONTRACTOR SHALL VERIFY THE LOCATION, SIZE & MATERIAL OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- IF UPON EXCAVATION, AND EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- CONTRACTOR SHALL RESTORE AREAS AFFECTED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER.
- ALL BENDS REQUIRED FOR CROSSINGS SHALL BE INCLUDED IN CONTRACTOR'S BID.
- CONTRACTOR SHALL PREPARE AND FILL THE PARKING AREAS IN ACCORDANCE WITH THE SPECIFICATIONS OF THE GEOTECHNICAL REPORT.
- ALL MATERIAL SUPPORTING THE PARKING SHALL HAVE A MINIMUM LBR 40.
- WATER MAIN SHALL BE LAID WITH A MINIMUM THREE (3) FOOT LATERAL SEPARATION FROM OBSTRUCTIONS AND A MINIMUM FIVE (5) FOOT CLEARANCE FROM TREES.
- FIRE HYDRANTS SHALL HAVE A 7.5' CLEAR RADIUS OF ANY OBSTRUCTIONS.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITH THE VICINITY OF THE POWER LINES.
- ALL EXISTING CONTROL POINTS OR REFERENCE MARKERS SHALL BE RAISED TO FINAL GRADE. THESE POINTS AND REFERENCE MARKERS SHALL BE LOCATED AND NOTED ON THE PLAN.



SECTION 'A-A'
N.T.S.

NEW LIFE COMMUNITY CHURCH
CITY OF COCONUT CREEK, FLORIDA
FOR: NEW LIFE COMMUNITY CHURCH, INC.

CONCEPTUAL ENGINEERING PLAN

DATE	REVISION	BY	CHK'D BY
02/25/03			

SCALE: 1 IN = 30 FT
DATE: 02/25/03
PROJECT NO.: 02-117.1
SHEET NO. 12 OF 12
CEP-1

REVISED PLANS
SUBMITTED FOR APPROVAL
APRIL 22, 2003

APPROVED: ROXANA D. CORDOVA
FLA REGISTRATION NO. 41844 DATE: APRIL 23, 2003