

GENERAL NOTES

1. ALL DRIVEWAYS SHALL BE BRICK PAVERS.
2. UNITS WITH TWO CAR GARAGES ARE NOTED ON PLAN. ALL OTHER UNITS HAVE A ONE CAR GARAGE.
3. REFER TO ARCHITECTURAL PLANS FOR SPECIFIC ARCHITECTURAL DETAILS SUCH AS FENCE MATERIAL AND DETAIL, BRICK PAVER SPECS, TRELLIS DETAIL, ETC.
4. ALL WALL SHALL BE DELIVERED TO A CENTRAL MAILBOX FACILITY, AT THE RECREATION AREA AND TO BE APPROVED BY THE USPS.
5. ALL ELECTRIC UTILITIES FOR THIS PROJECT SHALL BE UNDERGROUND.
6. STREET LIGHTS SHALL PER THE PHOTOMETRICS PLANS.
7. REFER TO SHEETS PD4 - PD6 FOR ROAD, PARKING, AND OTHER SITE CROSS SECTIONS AND DETAILS.

UTILITY EASEMENT DEDICATION AND NOTES:

1. ALL PUBLIC UTILITY EASEMENTS SHALL BE DEDICATED TO THE PUBLIC PURSUANT TO THE CITY OF COCONUT CREEK ENGINEERING AND LEGAL DEPARTMENT REQUIREMENTS.
2. HEAVY LANDSCAPING, WALLS, FENCES, ENTRANCE FEATURES, BERMS AND SIGNS THAT MAY INTERFERE WITH THE INSTALLATION AND MAINTENANCE OF UTILITIES WILL NOT BE PLACED WITHIN A UTILITY EASEMENT, WITHIN 6 FEET OF A WATER LINE, FIRE HYDRANT OR FORCE MAIN, OR WITHIN 10 FEET OF A SANITARY OR STORM SEWER.

LONG PINES

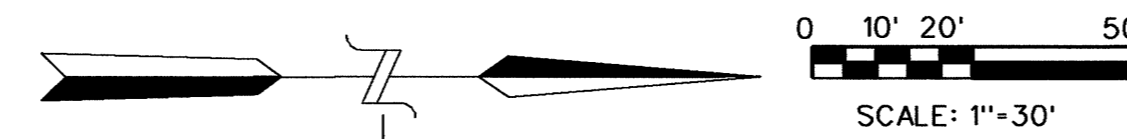
CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA

SITE PLAN

LEGAL DESCRIPTION:

TRACTS "A", "B1", AND "B2", 5150 HILLSBORO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 176, PAGES 189-190, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA.



SETBACKS:

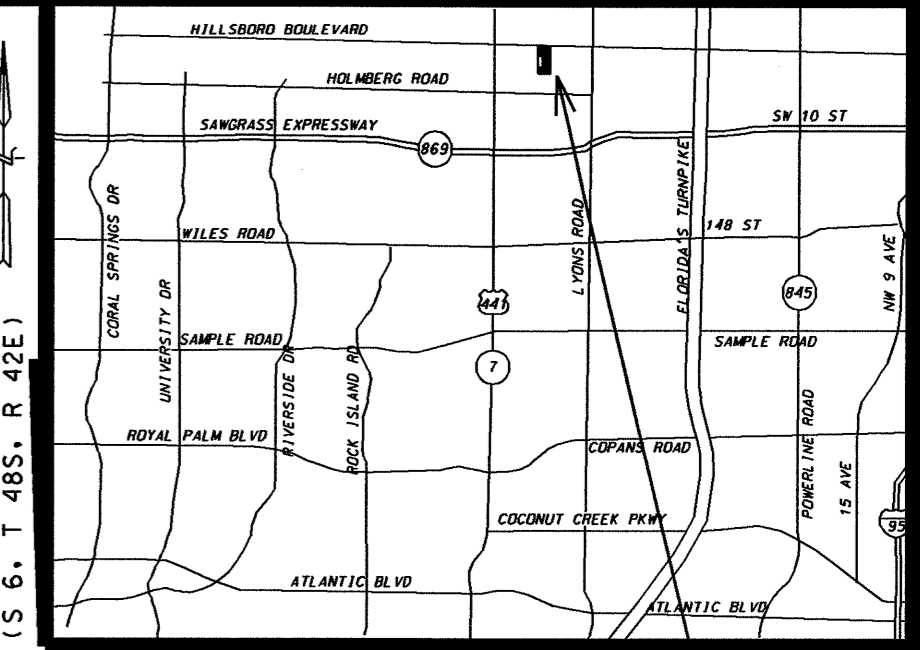
PUD SETBACKS ARE MEASURED FROM PUD BOUNDARY.

	PUD STANDARD	PROVIDED
NORTH BOUNDARY :	25 FT	26 FT
EAST BOUNDARY :	20 FT	21 FT
SOUTH BOUNDARY :	20 FT	20 FT
WEST BOUNDARY :	15 FT	15 FT

SITE DATA

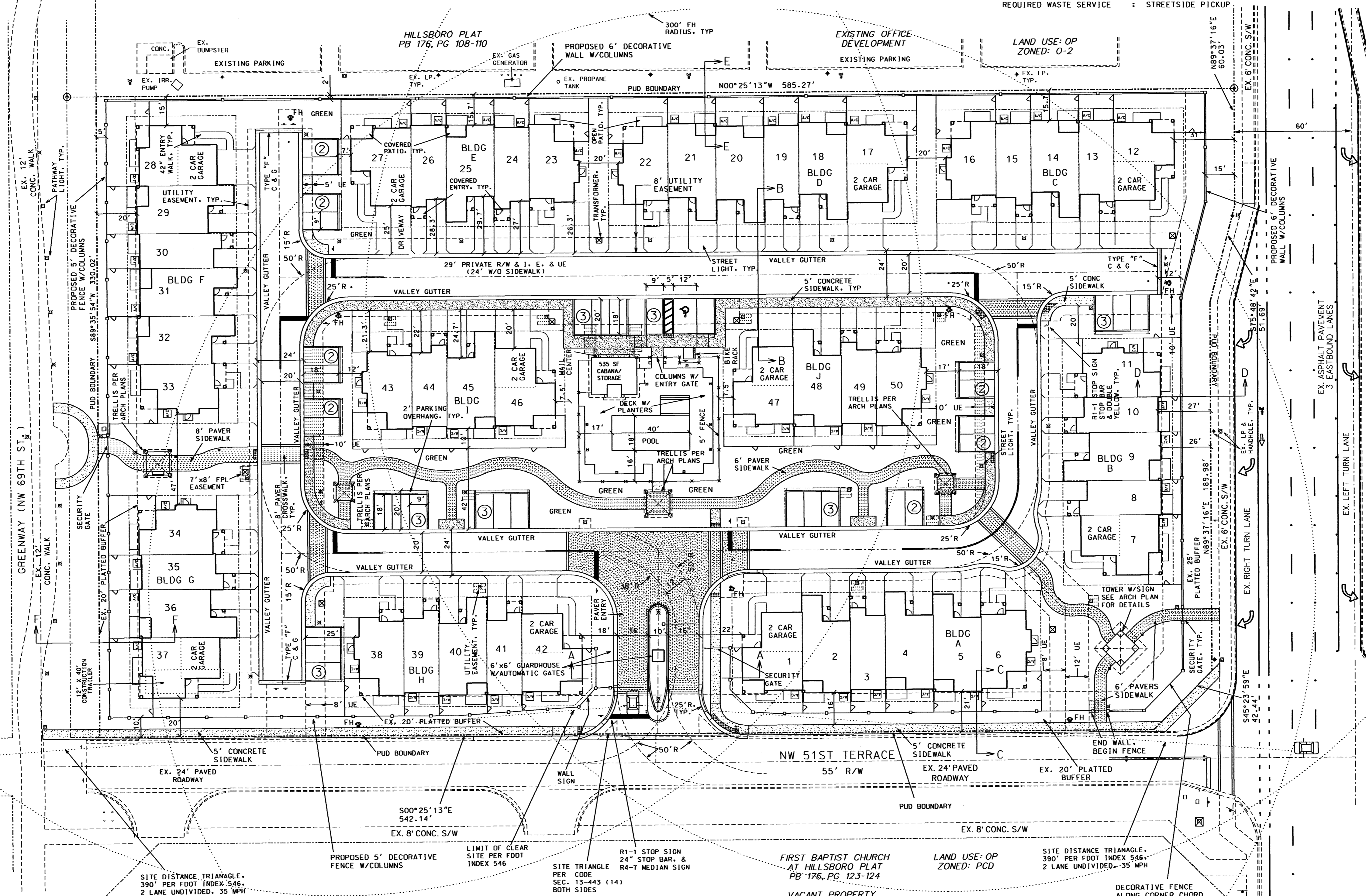
TYPE OF PROJECT :	RESIDENTIAL
LAND USE MAP DESIGNATION :	LOW-MED 10 RESIDENTIAL
PROPOSED LAND USE MAP DES. :	LOW-MED 10 RESIDENTIAL
EXISTING ZONING :	O-2
PROPOSED ZONING :	PUD
GROSS SIZE OF PROPERTY :	+/- 5.353 ACRES
NET SIZE OF PROJECT SITE :	+/- 4.350 ACRES
NUMBER OF UNITS :	50
GROSS DENSITY :	9.34 UNITS/ACRE
MAXIMUM BUILDING HEIGHT :	35 FEET OR TWO STORIES
BUILDING HEIGHT PROVIDED :	35 FEET & TWO STORIES
WATER & WASTEWATER SERVICE PROVIDER :	CITY OF COCONUT CREEK UTILITIES
REQUIRED WASTE SERVICE :	STREETSIDE PICKUP

LOCATION MAP
(S 6, T 48S, R 42E)



THIS SITE

LAND USE: MD ZONED: A-1
TRACT 33 BLOCK 85 PALM BEACH FARMS COMPANY PLAT NO. 3 (P.B.2, PG.45-54, P.B.C.R.)
VACANT PROPERTY



HILLSBORO BLVD. (STATE ROAD NO. 810)
EX. ASPHALT PAVEMENT 3 WESTBOUND LANES
EX. ASPHALT PAVEMENT 3 EASTBOUND LANES
EX. LEFT TURN LANE
EX. RIGHT TURN LANE
LAND USE: LW-16 VACANT PROPERTY ZONED: PUD

OPEN SPACE (PUD MIN 35%)

REFER TO SHEET SP2 FOR DETAILED SITE DATA CALCULATIONS

ITEM	AREA (SF)	AREA (AC)	PERCENT (%)
TOTAL SITE AREA	189,497 SF	4.350 AC	100.00%
NORTH BUFFER	7,089 SF	0.163 AC	3.74%
EAST BUFFER	4,779 SF	0.110 AC	2.52%
SOUTH BUFFER	5,104 SF	0.117 AC	2.70%
WEST OPEN AREA	5,300 SF	0.122 AC	2.80%
LOT OPEN SPACE	22,418 SF	0.515 AC	11.83%
INTERIOR SITE OPEN SPACE	23,493 SF	0.539 AC	12.39%
TOTAL	68,183 SF	1.566 AC	35.98%

LOT DATA

ITEM	TOTAL (SF)	TOTAL (AC)	TOTAL (%)
TOTAL NET LOT AREA	189,497 SF	4.350 AC	100.00%
BUILDING (FOOTPRINTS)	49,516 SF	1.137 AC	26.13% (35% MAX)
DRIVE AISLE	40,405 SF	0.928 AC	21.32%
SIDEWALK	10,250 SF	0.235 AC	5.41%
DRIVEWAYS	12,235 SF	0.281 AC	6.46%
LOT IMP. (PATIO, AC PAD & WALKWAY TO ENTRY)	5,123 SF	0.118 AC	2.70%
RECREATION AREA (POOL, CABANA, DECK)	3,785 SF	0.087 AC	2.00%
LANDSCAPE AREA	68,183 SF	1.566 AC	35.98%

PARKING DATA:

USE	PER SEC 13-400(2) OF THE LDC	REQUIRED	PROVIDED
MULTIFAMILY	2.25 PER 3 BED UNIT X 50 UNITS = 112.5	113	
1 CAR DRIVEWAY	9' x 20' DRIVEWAY (31 TOTAL x 1 SPACE)		31
2 CAR DRIVEWAY	18' x 20' DRIVEWAY (19 TOTAL x 2 SPACES)		38
GARAGE	50 ONE CAR, 10 TWO CAR (60 TOTAL)		60
DISTRIBUTED THROUGHOUT SITE			21
GUEST	12% OF REQUIRED = 12% OF 113 = 14	14	14
TOTAL	MF + GUEST = 127 SPACES	131	164
HC SPACES	FOR 1-25 REQUIRED GUEST SPACES	1	1

LEGEND

- PROPOSED LIGHT POLE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED BRICK PAVERS
- PROPOSED CONCRETE SIDEWALK

PROJECT: LONG PINES		TITLE: SITE PLAN	
DATE: 02/28/12	REVISIONS	DATE	COMMENTS
SCALE: 1" = 30'			
DRAWN BY: HEJ	08/01/12 REVISION SITE PLAN PER CITY DRC		
CHECKED BY: IJJ	10/15/12 REVISION SITE PLAN PER CITY DRC		
APPROVED BY: HEJ	03/05/13 REVISION SITE PLAN PER CITY DRC		
	04/26/13 REVISION SIGN & SITE TRIANGLE PER DRC		
PROJECT #: 10-0180			

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SHEET NUMBER
SP1
OF
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