

City of Coconut Creek

InterOffice Memorandum

To: File (electronic site plan file)

Date: November 1, 2012

From: Jim Hetzel 
Sustainable City Coordinator

Subject: Mercedes Site Plan Modifications

The following minor adjustment to the approved Mercedes of Coconut Creek site plan has been accepted by the Development Review Committee.

Requested Change: Modification to Site Plan

This memo shall serve as formal acceptance of the following:

- Sidewalk directly north of building was shifted away from building
- Same sidewalk was changed from concrete to pavers
- Landscaping was shifted to accommodate the above
- Sidewalk on the south side of the building was changed from concrete to pavers
- Doorway on north elevation was shifted to be centrally located on building facade

Summary of Requested Changes:

The purpose of these modifications was due to changes in the field and was not part of the original site plan approval. Applicant is seeking completion of the project at this time and therefore, these changes are acceptable to the DRC staff.

This memo will be filed electronically on the network in the site plan folder.

CC: Via email
Dave Poplawski, Landscape Inspector
Natacha Josiah, Zoning Officer



BOHLER

ENGINEERING

Radice III
1000 Corporate Drive, Suite 250
Fort Lauderdale, FL 33334
PHONE 954.202.7000
FAX 954.202.7070

October 31, 2012

City of Coconut Creek
4800 W. Copans Rd.
Coconut Creek, FL 33063

ATTN: Mr. Jim Hetzel

Project Name: Mercedes-Benz of Coconut Creek
Project Location: 4250 N. State Road 7, Coconut Creek, FL 33073
Review/Application: Administrative Approval
Control/Permit No: PZ-10080005

Dear Mr. Hetzel;

Please consider this letter for your review and approval of the site revisions installed from the prior approved Site Plan. These revisions include the following:

1. The sidewalk directly north of the "proposed walkway connection" was changed from concrete to pavers. Also, the sidewalk was shifted away from the building to allow the proposed planters to engage the building elevation at this corner.
2. The hardscape south of the "proposed walkway connection" and within an interior alcove of the site has been modified to better define the pedestrian area from the vehicular area. Specifically, the pedestrian areas are installed as pavers while the vehicular area is concrete consistent to the building face where vehicle displays will occur within the structure.
3. The sidewalk immediately south of the existing showroom has been revised to pavers from concrete.
4. The doorway location on the north elevation of the "proposed walkway connection" has been centrally located as a single entry point where two doors were originally proposed.

Should you have any questions or require any additional information please do not hesitate to contact me at (954) 202-7000. Thank you for your time and kind consideration with regards to this matter.

Sincerely,

JASON MATTHEW GANTHER
BOHLER ENGINEERING, LLC
No. 58627

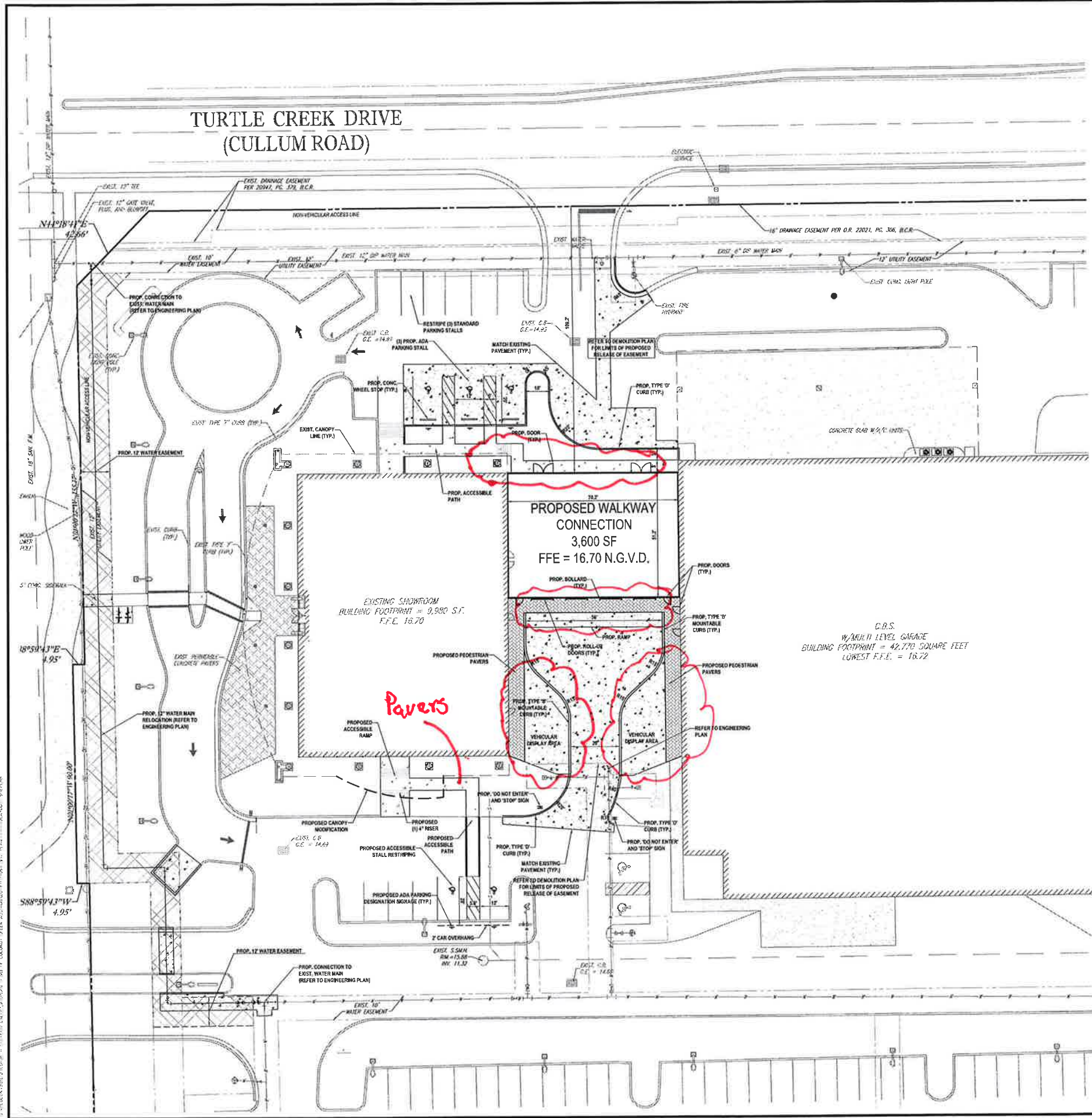
JASON M. GANTHER, P.E.
STATE OF FLORIDA
PROFESSIONAL ENGINEER

OTHER OFFICE LOCATIONS:

- Southborough, MA 508.480.9900
- Albany, NY 518.438.9900
- Ronkonkoma, NY 631.738.1200
- Warren, NJ 908.668.8300
- Center Valley, PA 610.709.9971
- Chalfont, PA 215.996.9100
- Philadelphia, PA 267.402.3400
- Towson, MD 410.821.7900
- Sterling, VA 703.709.9500
- Warrenton, VA 540.349.4500
- Bowie, MD 301.809.4500
- Tampa, FL 813.379.4100

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SITE DATA

ZONING:	PCD
LAND USE:	REGIONAL ACTIVITY CENTER (RAC)
SITE AREA:	13.87 ACRES
COVERAGES:	
BUILDING:	1.42 AC = 10.40%
PARKING AND DRIVES:	5.74 AC = 42.00%
CONCRETE WALKS:	0.17 AC = 1.24%
LAKE:	2.31 AC = 16.90%
LANDSCAPE:	4.03 AC = 29.48%
TOTAL IMPERVIOUS AREA:	9.64 AC = 70.52%
TOTAL PERVIOUS AREA:	4.83 AC = 29.48%
OPEN SPACE REQUIRED:	13.67 AC @ 20% =
OPEN SPACE PROVIDED:	4.83 AC
LANDSCAPE:	0.82 AC
LAKE:	0.82 AC
TOTAL:	4.83 AC = 35.50%

THE PROJECT CONTAINS 2.31 ACRES OF LAKES. PURSUANT TO SECTION 13-355(3) OF THE PCID ORDINANCE, WATER BODIES MAY NOT BE COUNTED TOWARDS MEETING MORE THAN A TOTAL OF 30% OF THE TOTAL OPEN SPACE REQUIREMENTS OR 0.82 ACRES FOR THIS PROJECT.

DESCRIPTION	AREA	RATIO	REQ'D PARKING
SHOWROOM:	10,827 SF	1:200 SF	54
OFFICE:	22,174 SF	1:300 SF	74
SERVICE:	23,200 SF	1:150 SF	155
PARTS:	9,986 SF	1:500 SF	20
TOTAL:	66,987 SF		303

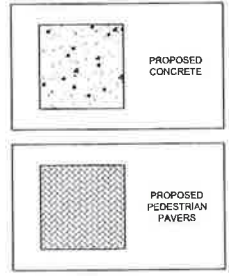
NOTE:
 1) FOR 5,351 SF CORRIDOR CONNECTION, ASSUME 100% SHOWROOM.
 2) IN ADDITION TO THE USES LISTED ABOVE, IS AN ADDITIONAL 136,027 SF OF VEHICLE STORAGE.

TOTAL PARKING PROVIDED

CUSTOMER PARKING:	62 SPACES
EMPLOYEE PARKING (OUTSIDE):	97 SPACES
SERVICE PARKING (OUTSIDE):	121 SPACES
SERVICE PARKING (INSIDE):	38 SPACES
TOTAL PROVIDED:	318 SPACES
DISPLAY PARKING (OUTSIDE):	220 SPACES
NEW VEHICLE STORAGE (OUTSIDE):	46 SPACES
NEW VEHICLE STORAGE (INSIDE):	388 SPACES
HANDICAP PARKING PROVIDED:	8 SPACES

NOTE:
 1. REFER TO OVERALL SITE PLAN FOR SITE CONDITIONS NOT AFFECTED BY THIS APPLICATION FOR SITE PLAN MODIFICATION.
 2. ALL ROOFTOP EQUIPMENT WILL BE SCREENED FROM VIEW USING A 4-FOOT TALL PARAPET WALL.

HATCH LEGEND



LEGAL DESCRIPTION
 PARCEL "A", SAWGRASS RANCH, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 168, PAGE 241, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID LAND SITUATE, LYING AND BEING IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, AND CONTAINING 585,429 SQUARE FEET OR 13.869 ACRES, MORE OR LESS.

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 LANDSCAPE ARCHITECTS

CORPORATE OFFICE:
 WARREN, NJ
 OFFICES:
 BROWARD COUNTY, FLORIDA
 FORT LAUDERDALE, FLORIDA
 WASHINGTON, VA
 CENTER VALLEY, PA
 TAMPA, FL

REVISIONS:

REV.	DATE	COMMENT	BY
1	05-24-2011	FIRST SITE PLAN SUBMITTAL	NAB
2	06-25-2011	SECOND SITE PLAN SUBMITTAL	NAB
3	08-11-2011	THIRD SITE PLAN SUBMITTAL	NAB
4	08-15-2011	SECOND EASEMENT VACATION SUBMITTAL	NAB

PROJECT No.: F100016
 LOT: NAB
 CHECKED BY: NAB
 DATE: 05-24-2011
 SCALE: AS NOTED
 CAD ID: 03-F100106-SITE PLAN

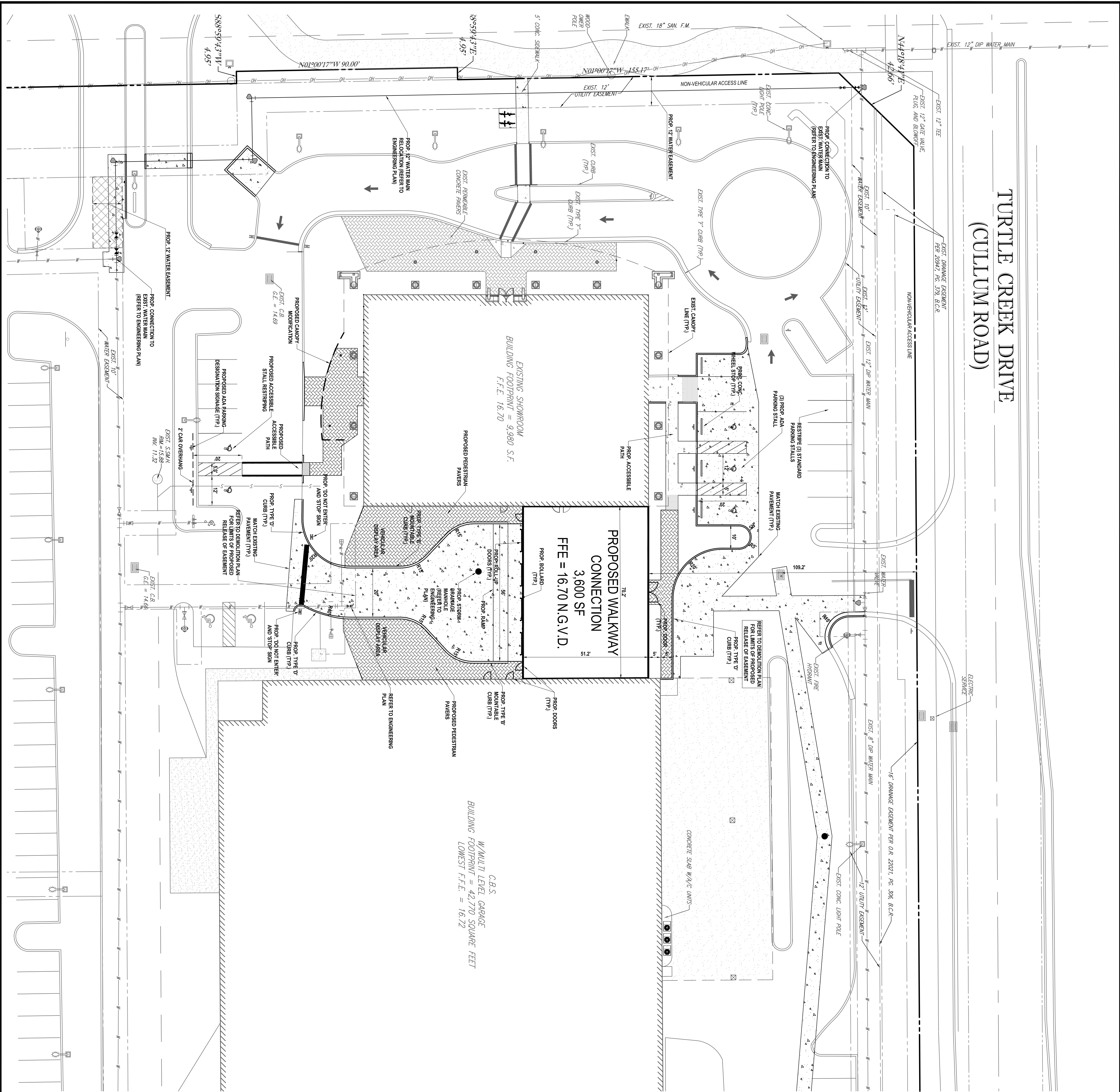
PROJECT:
MERCEDES-BENZ OF COCONUT CREEK ADDITION
 FOR
HODGEN CONSTRUCTION

4250 NORTH STATE ROAD 7
 CITY OF COCONUT CREEK
 BROWARD COUNTY, FLORIDA

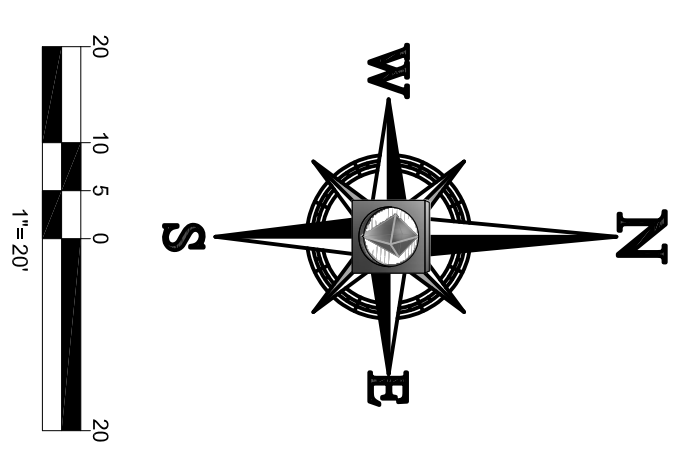
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 FORT LAUDERDALE, FL 33334
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NOEL A. BARNETT
 PROFESSIONAL ENGINEER
 September 13, 2011
 FLORIDA LICENSE NO. 72096
 FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

SHEET TITLE:
SITE PLAN
 SHEET NUMBER:
C-2



**TURTLE CREEK DRIVE
 (CULLUM ROAD)**



SITE DATA

ZONING:	PCD	REGIONAL ACTIVITY CENTER (PAC)
LAND USE:	13.87 ACRES	
SITE AREA:	13.87 ACRES	
COVERAGES		
BUILDING:	1.42 AC. = 10.40%	
PARKING AND DRIVES:	5.74 AC. = 42.00%	
CONCRETE WALKS:	0.17 AC. = 1.24%	
LAKE:	2.31 AC. = 16.50%	
LANDSCAPE:	4.03 AC. = 29.48%	
TOTAL IMPERVIOUS AREA:	9.54 AC. = 70.25%	
TOTAL PERVIOUS AREA:	4.03 AC. = 29.48%	
OPEN SPACE REQUIRED:	2.73 AC.	
13.87 AC. @ 20% =	2.73 AC.	
OPEN SPACE PROVIDED:	4.03 AC.	
LANDSCAPE:	4.03 AC.	
LAKE:	0.03 AC.	
TOTAL:	4.06 AC. = 29.50%	

NOTE: THE PROJECT CONTAINS 2.11 ACRES OF LAKES. IN ACCORDANCE WITH SECTION 16.28(9)(F) OF THE PROVISIONS OF THE WATER RESOURCES MANAGEMENT REGULATIONS, THERE SHALL BE MORE THAN A TOTAL OF 3% OF THE TOTAL OPEN SPACE REQUIREMENTS OR 182 ACRES FOR THIS PROJECT.

REQUIRED PARKING			
DESCRIPTION	AREA	RATIO	REQ'D PARKING
SHOWROOM	10,027 SF	1200 SF	54
OFFICE	22,174 SF	1200 SF	74
SERVICE	23,200 SF	1150 SF	155
PARTS	9,988 SF	1500 SF	20
TOTAL:	65,389 SF		303

NOTE:
 1) FOR 3,800 SF CORRIDOR CONNECTION, ASSUME 100% SHOWROOM.
 2) IN ADDITION TO THE USRS LISTED ABOVE, IS AN ADDITIONAL 138,027 SF OF VERTEX PARKING PROVIDED.
TOTAL PARKING PROVIDED:
 52 SPACES
 97 SPACES
 121 SPACES
 171 SPACES
 36 SPACES
TOTAL PROVIDED:
 346 SPACES
 220 SPACES
 48 SPACES
 388 SPACES
 8 SPACES
HANDICAP PARKING PROVIDED
 8 SPACES

HATCH LEGEND

- PROPOSED CONCRETE
- PROPOSED PEDESTRIAN PAVEMENT

LEGAL DESCRIPTION
 PARCEL 1, 1/4 SAUGASS RANCH, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 158, PAGE 24, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAND LAND SITUATE, LYING AND BEING IN THE CITY OF COCONUT CREEK, BROWARD COUNTY, FLORIDA, AND CONTAINING 595,429 SQUARE FEET OR 13.869 ACRES, MORE OR LESS.

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- CHALFOUNT, PA
- CENTER VALLEY, PA
- TAMPA, FL
- BOWIE, MD
- TOWSON, MD
- STERLING, VA
- WARRENTON, WA
- FORT LAUDERDALE, FL

ENGINEERING PERMIT SET

PROJECT NO.:	U100016
DRAWN BY:	LF
CHECKED BY:	LF
DATE:	08-19-2011
SCALE:	AS NOTED
CADD:	03-F1001006-SITE PLAN

MERCEDES-BENZ OF COCONUT CREEK ADDITION

FOR
HODGEN CONSTRUCTION

4250 NORTH STATE ROAD 7
 CITY OF COCONUT CREEK,
 BROWARD COUNTY, FLORIDA

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 FAX: (954) 202-7100
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 FLORIDA BUSINESS CERT. OF AUTH. NO. 27928

SHEET NUMBER
C-2A