

REVISIONS	BY
01 SITE PLAN RESUBMITTAL 02/19/14	
02 SITE PLAN RESUBMITTAL#2 04/08/14	
03 SITE PLAN RESUBMITTAL#3 07/17/14	
04 SITE PLAN RESUBMITTAL#4 08/20/14	

**MIDTOWN RESIDENCES
AT COCONUT CREEK**

FOR:
FLORIDA ATLANTIC INVESTMENTS, INC.
LOCATED AT:
COCONUT CREEK, FLORIDA

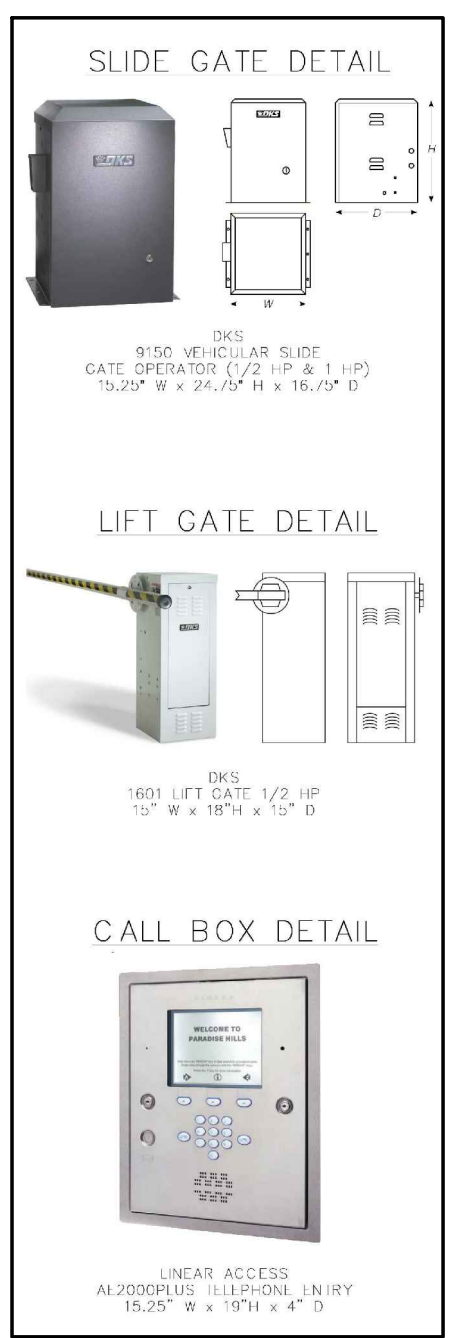
MSA ARCHITECTS, INC.
MIAMI OFFICE
7695 SW 104th ST.
MIAMI, FLORIDA 33156
(305) 273-9911

MSA ARCHITECTS

ARCHITECTURE & PLANNING

COPYRIGHT © 2011 BY MSA ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF MSA ARCHITECTS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING BY THE ARCHITECT.

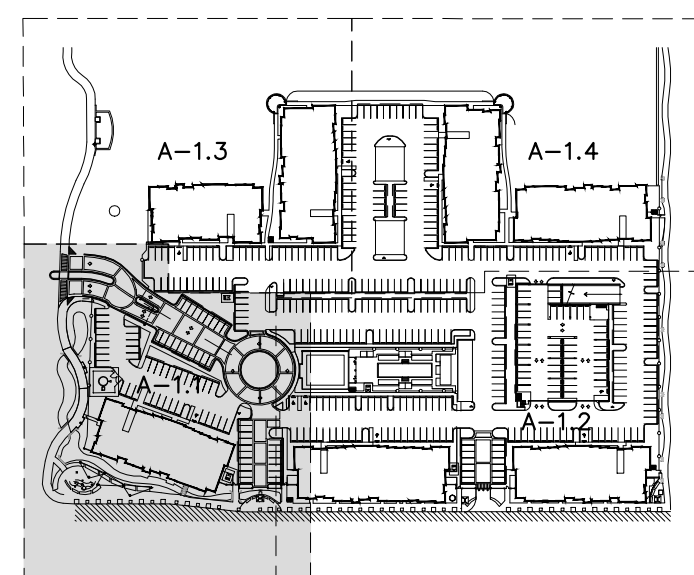
DRAWN
CHECKED
DATE 08/20/2014
SCALE AS SHOWN
JOB NO. 1528.PRJ
SHEET 1528-A-1.1.DWG



FINISH LEGEND

	COLORED CONC. SIDEWALK, SEE GENERAL NOTE 14.
	PERMEABLE SIDEWALK PAVERS
	DECORATIVE PERMEABLE CONC. PAVERS
	LANDSCAPED AREA/BUFFER
	PROPOSED GREEN SCREENS
	FOR PROPOSED U.E. SEE CIVIL DWGS, TYP.
	PERMEABLE PAVERS FRONTING STREET TYPE A, TYP.(SEE A-0.4).
	PROPOSED FIRE HYDRANT & FDC SEE C-6.
	CLEAR ZONES
	LIGHT POLES
	FPL TRANSFORMER
	M.R. ELECTRICAL METER ROOM

- ### GENERAL NOTES
- MINIMUM FINISH FLOOR ELEVATIONS FOR ALL STRUCTURES IS: +16'-0" N.G.V.D. (+14'-4" N.A.V.D.)
 - ALL BUILDINGS SHALL BE LOCATED WITHIN 300 FT. OF A FIRE HYDRANT.
 - POTABLE WATER NOT TO BE USED FOR IRRIGATION.
 - OVERHEAD UTILITIES ALONG SAMPLE ROAD AND WITHIN THE PROJECT SHALL COMPLY WITH PMDD UTILITIES REQUIREMENT AND BE PLACED UNDERGROUND.
 - NEW 5' HIGH PERIMETER POOL FENCE TO HAVE SELF-CLOSING 36" WIDE DOOR AND LATCH. SEE SHEET A-1.2
 - REFER TO CIVIL DRAWINGS FOR HC SIGNAGE DETAILS.
 - FOR PAVEMENT & MARKING DETAILS REFER TO CIVIL DRAWINGS.
 - PROPOSED EASEMENTS TO BE DETERMINED BY SEPARATE INSTRUMENT
 - ALL SIDEWALKS PAVERS TO BE MINIMUM 5'-0" WIDE, UNLESS NOTED OTHERWISE
 - FIRE DEPT. EXIT GATE TO BE MIN. 3'-0" CLEAR AT SIDE WALK FOR PEDESTRIAN ACCESS.
 - ALL FIRE HYDRANT CLEAR ZONES SHALL BE FREE OF LANDSCAPE (EXCEPT SOO), MAIL BOXES, PARKING, LAMP POSTS AND ALL OTHER OBJECTS.
 - ANY PROPOSED ROOF MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO AIR CONDITIONING SYSTEMS, MUST BE SCREENED FROM VIEW FROM ABUTTING PUBLIC ROAD & RIGHT-OF-WAYS.
 - REFER TO PARTIAL SITE PLANS (SHTS. A-1.1 TO A-1.4) FOR ADDITIONAL DIMENSIONS & NOTES.
 - ALL PUBLIC SIDEWALKS AND TRAILWAY PATH IMPROVEMENTS SHALL BE COLORED CONCRETE COLORS INCLUDE: SOLOMON COLORS, INTEGRAL COLORS FOR COLORED CONCRETE: 415 RED=VENETIAN RED. THIS APPLIES TO THE SIDEWALK ALONG SAMPLE ROAD, STREET TYPE "A" AND NORTHERN PROPERTY LINE.
 - CONSTRUCTION OF CLUBHOUSE/POOL TO BE COMPLETED PRIOR TO ISSUANCE OF 25% CERTIFICATE OF OCCUPANCY.



KEY PLAN
N.T.S.