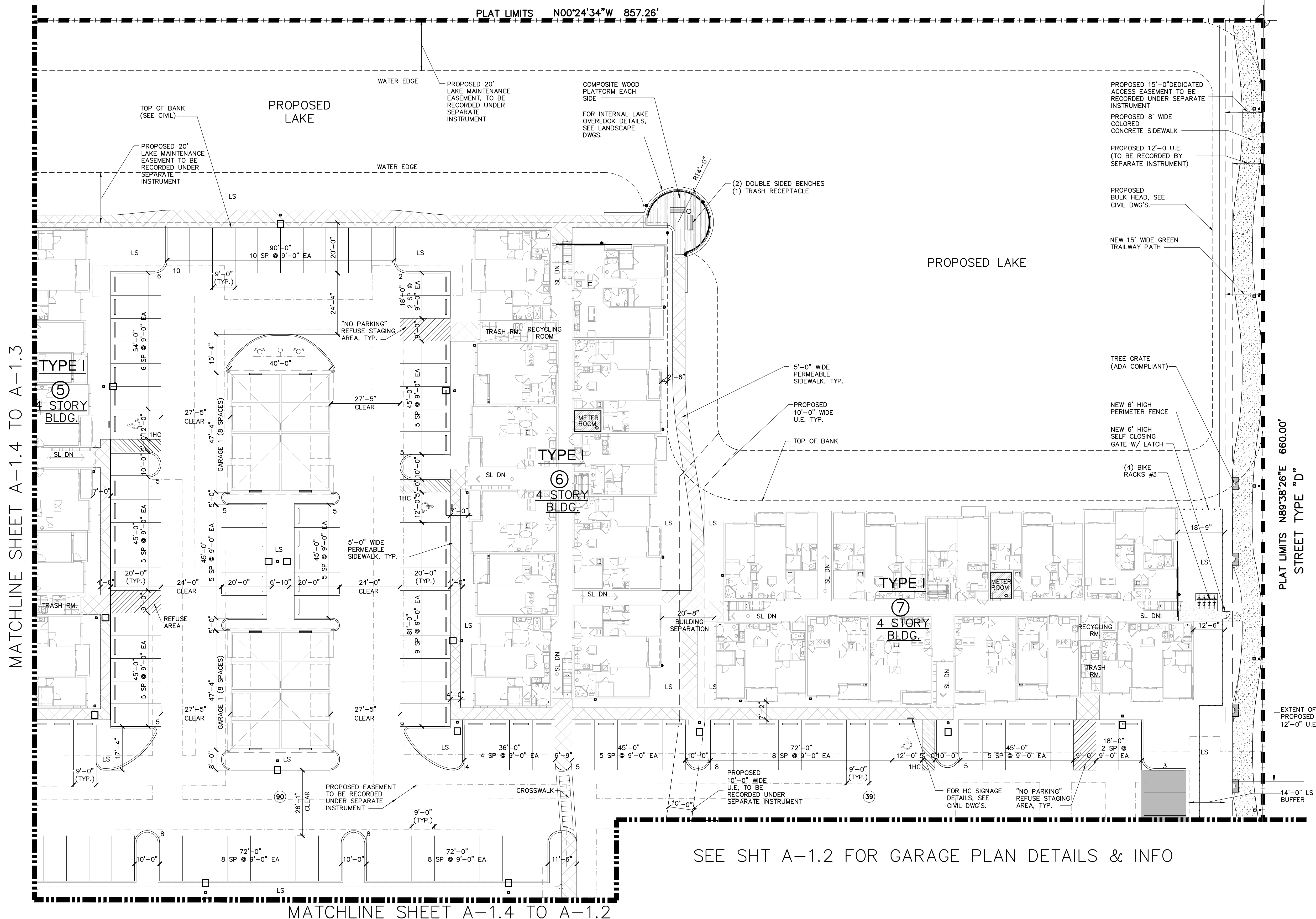


REVISIONS	BY
○ SITE PLAN RESUBMITTAL 02/19/14	
○ SITE PLAN RESUBMITTAL#2 04/08/14	
○ SITE PLAN RESUBMITTAL#3 07/17/14	
○ SITE PLAN RESUBMITTAL#4 08/20/14	



FINISH LEGEND

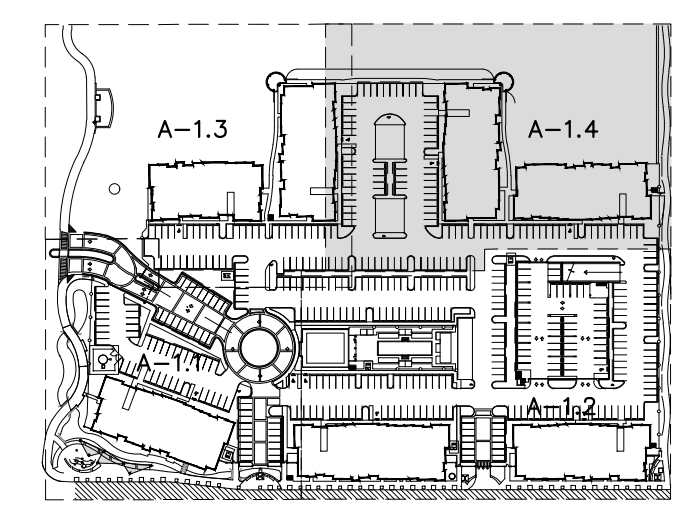
- COLORED CONC. SIDEWALK, SEE GENERAL NOTE 14.
- PERMEABLE SIDEWALK PAVERS
- DECORATIVE PERMEABLE CONC. PAVERS
- LS LANDSCAPED AREA/BUFFER
- PROPOSED GREEN SCREENS
- FOR PROPOSED U.E. SEE CIVIL DWGS, TYP.
- PERMEABLE PAVERS FRONTING STREET TYPE A, TYP(SEE A-0.4).
- PROPOSED FIRE HYDRANT & FDC SEE C-6.
- CLEAR ZONES
- LIGHT POLES
- FPL TRANSFORMER
- M.R. ELECTRICAL METER ROOM

- ### GENERAL NOTES
- MINIMUM FINISH FLOOR ELEVATIONS FOR ALL STRUCTURES IS +18'-0" N.G.V.D. (+14'-4" N.A.V.D.)
 - ALL BUILDINGS SHALL BE LOCATED WITHIN 300 FT. OF A FIRE HYDRANT.
 - POTABLE WATER NOT TO BE USED FOR IRRIGATION.
 - OVERHEAD UTILITIES ALONG SAMPLE ROAD AND WITHIN THE PROJECT SHALL COMPLY WITH PMOD UTILITIES REQUIREMENT AND BE PLACED UNDERGROUND.
 - NEW 5' HIGH PERIMETER POOL FENCE TO HAVE SELF-CLOSING 36" WIDE DOOR AND LATCH, SEE SHEET A-1.2
 - REFER TO CIVIL DRAWINGS FOR HC SIGNAGE DETAILS.
 - FOR PAVEMENT & MARKING DETAILS REFER TO CIVIL DRAWINGS.
 - PROPOSED EASEMENTS TO BE DETERMINED BY SEPARATE INSTRUMENT
 - ALL SIDEWALKS PAVERS TO BE MINIMUM 5'-0" WIDE, UNLESS NOTED OTHERWISE
 - FIRE DEPT. EXIT GATE TO BE MIN. 3'-0" CLEAR AT SIDE WALK FOR PEDESTRIAN ACCESS.
 - ALL FIRE HYDRANT CLEAR ZONES SHALL BE FREE OF LANDSCAPE (EXCEPT SOD), MAIL BOXES, PARKING, LAMP-POSTS AND ALL OTHER OBJECTS.
 - ANY PROPOSED ROOF MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO AIR CONDITIONING SYSTEMS, MUST BE SCREENED FROM VIEW FROM ABUTTING PUBLIC ROAD & RIGHT-OF-WAYS.
 - REFER TO PARTIAL SITE PLANS (SHTS. A-1.1 TO A-1.4) FOR ADDITIONAL DIMENSIONS & NOTES.
 - ALL PUBLIC SIDEWALKS AND TRAILWAY PATH IMPROVEMENTS SHALL BE COLORED CONCRETE. COLORS INCLUDE: SOLOMON COLORS, INTEGRAL COLORS FOR COLORED CONCRETE: 415 RED-VENEZIAN RED. THIS APPLIES TO THE SIDEWALK ALONG SAMPLE ROAD, STREET TYPE "A" AND NORTHERN PROPERTY LINE.
 - CONSTRUCTION OF CLUBHOUSE/POOL TO BE COMPLETED PRIOR TO ISSUANCE OF 25% CERTIFICATE OF OCCUPANCY.

MATCHLINE SHEET A-1.4 TO A-1.3

MATCHLINE SHEET A-1.4 TO A-1.2

SEE SHT A-1.2 FOR GARAGE PLAN DETAILS & INFO



MIDTOWN RESIDENCES AT COCONUT CREEK
 FOR: FLORIDA ATLANTIC INVESTMENTS, INC.
 LOCATED AT: COCONUT CREEK, FLORIDA

MSA ARCHITECTS, INC.
 MIAMI OFFICE
 7695 SW 104th ST.
 MIAMI, FLORIDA 33156
 (305) 273-9911

MSA ARCHITECTS
 ARCHITECTURE & PLANNING

DRAWN	
CHECKED	
DATE	08/20/2014
SCALE	AS SHOWN
JOB NO.	1528.PRJ
SHEET	1528-A-1.4.DWG

PARTIAL SITE PLAN
 SCALE: 1"=20'
 SITE SUBMITTAL SET 08-20-14 OF SHEETS

A-1.4