

City of Coconut Creek InterOffice Memorandum

To: Site Plan File - PZ-12110008

Date: January 23, 2014

From: Liz Aguiar
Senior Planner

Subject: Rainforest Estates New Model

The Development Review Committee has accepted the following to be included within the approved Rainforest Estates (O'Donnell Farms Plat No.1) Site Plan file. Due to the nature of the request and the negligible impacts associated with the change, staff has accepted the post approval revision with no further review required. This memo shall serve as formal acceptance of the changes identified herein and will be archived as follows;

1) Digital archive file;

<\\Thevault\pzprojects\City\O'Donnell Farms Plat No.1\MTF Model Change Paragon Homes 01-23-14.doc>

The change does not conflict with standards set-forth within the City's Land Development Code Division 3, Zoning District Regulations.

Requested Change:

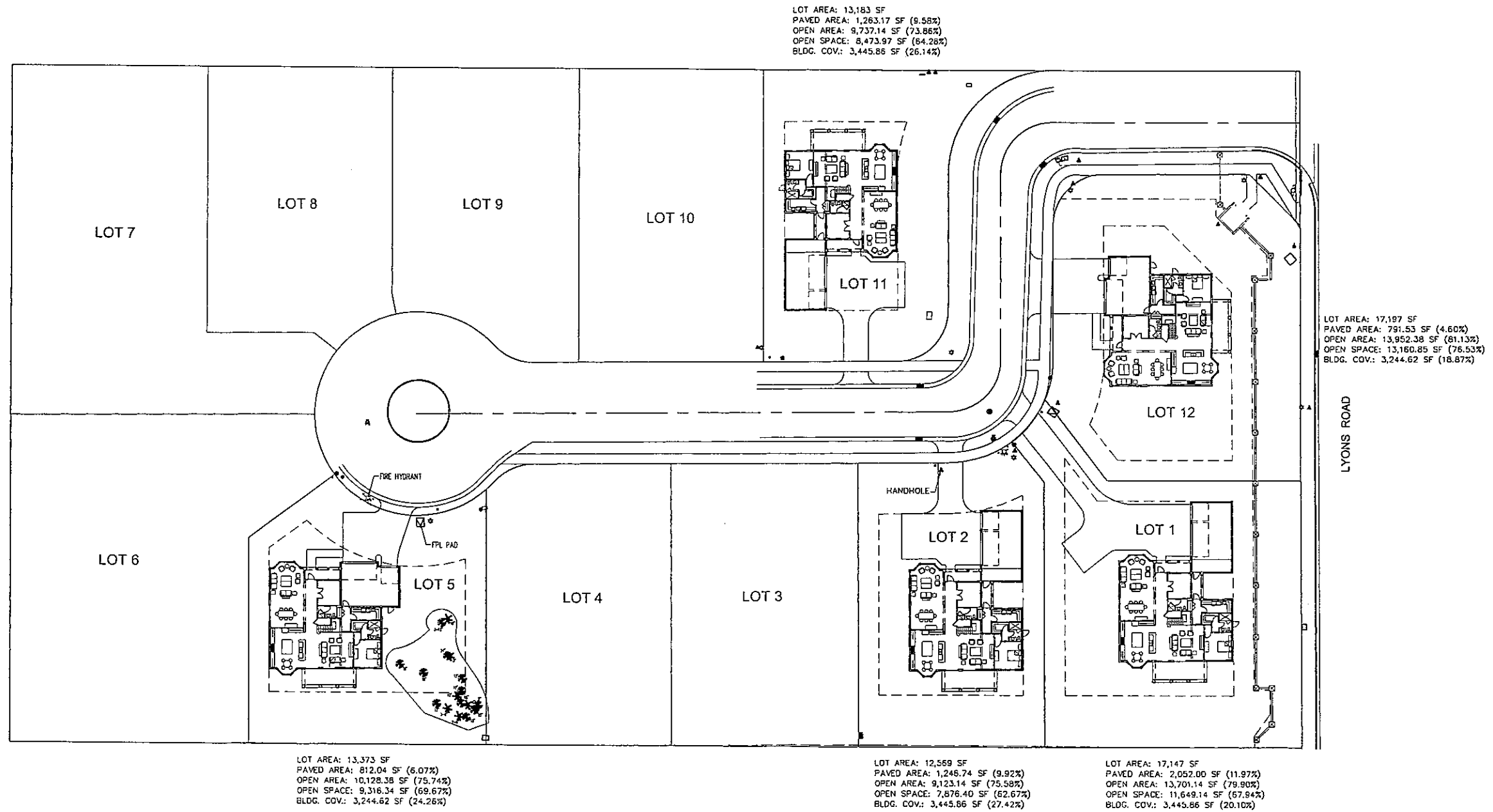
The applicant, and property owner Paragon Homes, is requesting the addition of a model home to the previously approved Rainforest Estates site plan model. In response to potential buyer demands and changing real estate market trends, the applicant is proposing an additional floor plan/architecture model option. The proposed new two-story model includes the option of a 3-car garage with a side entry orientation or a 3-car garage with a typical front entry orientation. While architecture will follow the new floor plan and garage orientation as applicable, similar and complimentary features of the existing homes within Rainforest Estates homes will be maintained. The new 4,000+ square foot model will maintain similar elements such as overall mean roof height, roll-up garage doors, varying window sizes, articulated foot print and roof, exterior soffit mouldings, wide decorative columns, wide window bands, score lines, decorative railing, concrete roof tile and paver driveways.

Provided by the owner and attached to this memo are the following;

- 1) Site plan depicting potential model location and orientation.
- 2) Front elevation color rendering.
- 3) Color palette.
- 4) Model A 1st floor plan – side entry garage orientation.
- 5) Model B 1st floor plan – garage front driveway access orientation.
- 6) Model A 2nd floor plan.
- 7) Front and rear elevations and architectural details – Model A.
- 8) Side elevations – Model A.
- 9) Front elevations – Model B.

This approval is limited as stated herein and does not preclude the applicant from complying with all other requirements shown within any approved plans including landscaping etc. Further, it is the applicants' responsibility to secure all required permits and inspections as applicable.

cc: Scott Stoudenmire, Deputy Director of Sustainable Development
Heidi Solano, Senior Planner
Natacha Josiah, Zoning Officer



SITE PLAN
1"=60'-0"

REVISIONS	BY

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RAIN FOREST ESTATES
PARAGON HOMES
CITY OF COCONUT CREEK, FLORIDA.

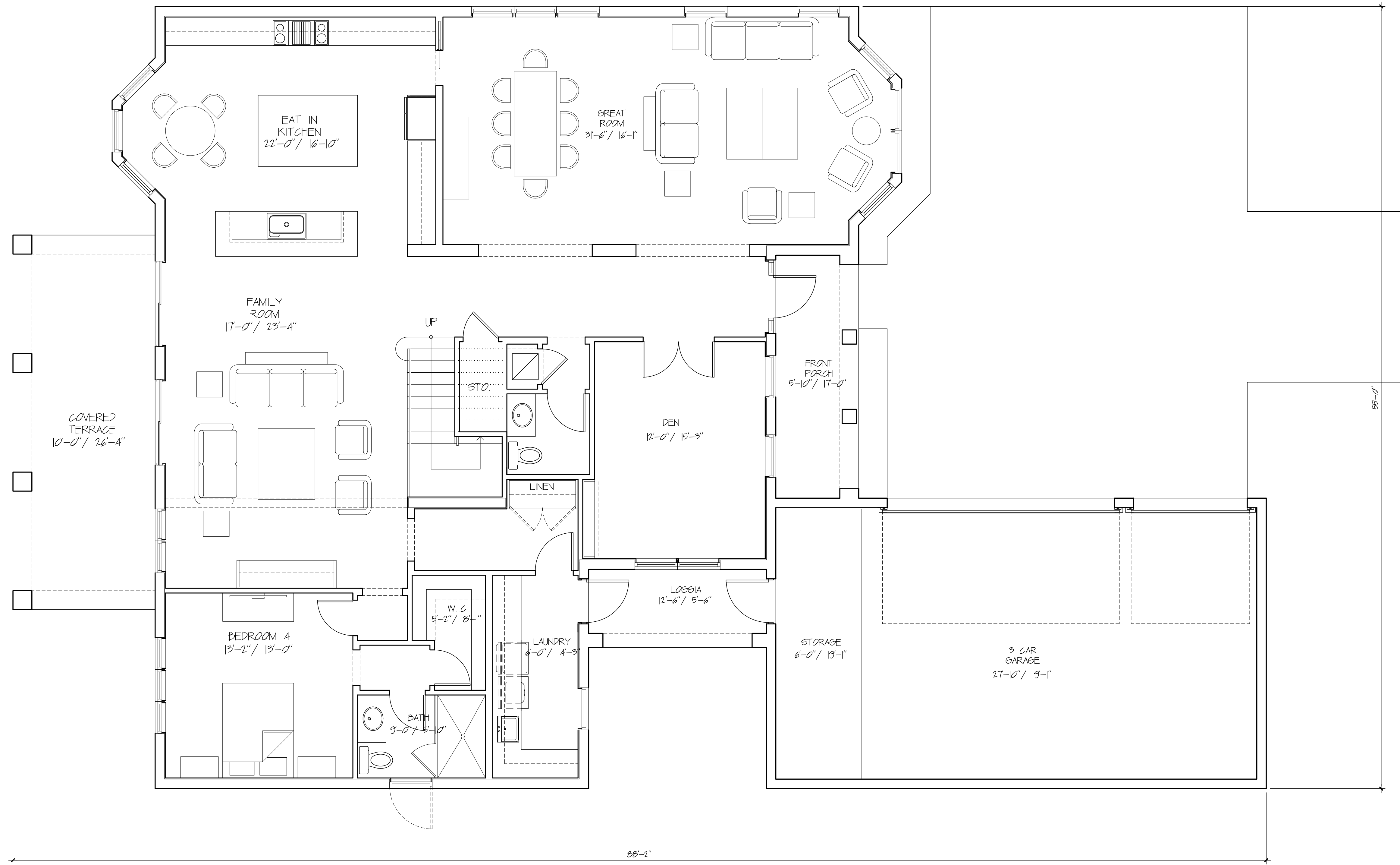
SITE PLAN	
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CAD FILE: P:\PROJECTS\SITE PLAN\PARAGONHOMES\RAIN FOREST ESTATES\1320SITE.DWG
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RAINFOREST ESTATES
COCONUT CREEK, FLORIDA.
PARAGON HOMES

 **SOTOLONGO SALMAN HENDERSON**
ARCHITECTS



FIRST FLOOR PLAN

AREA SUMMARY	
1ST FLOOR A/C	2,350 SQ. FT.
2ND FLOOR A/C	1,561 SQ. FT.
TOTAL A/C SPACE	3,911 SQ. FT.
FRONT PORCH	100 SQ. FT.
GARAGE AND STORAGE	717 SQ. FT.
COVERED TERRACE	263 SQ. FT.
LOGGIA	68 SQ. FT.
TOTAL AREA	5,059 SQ. FT.

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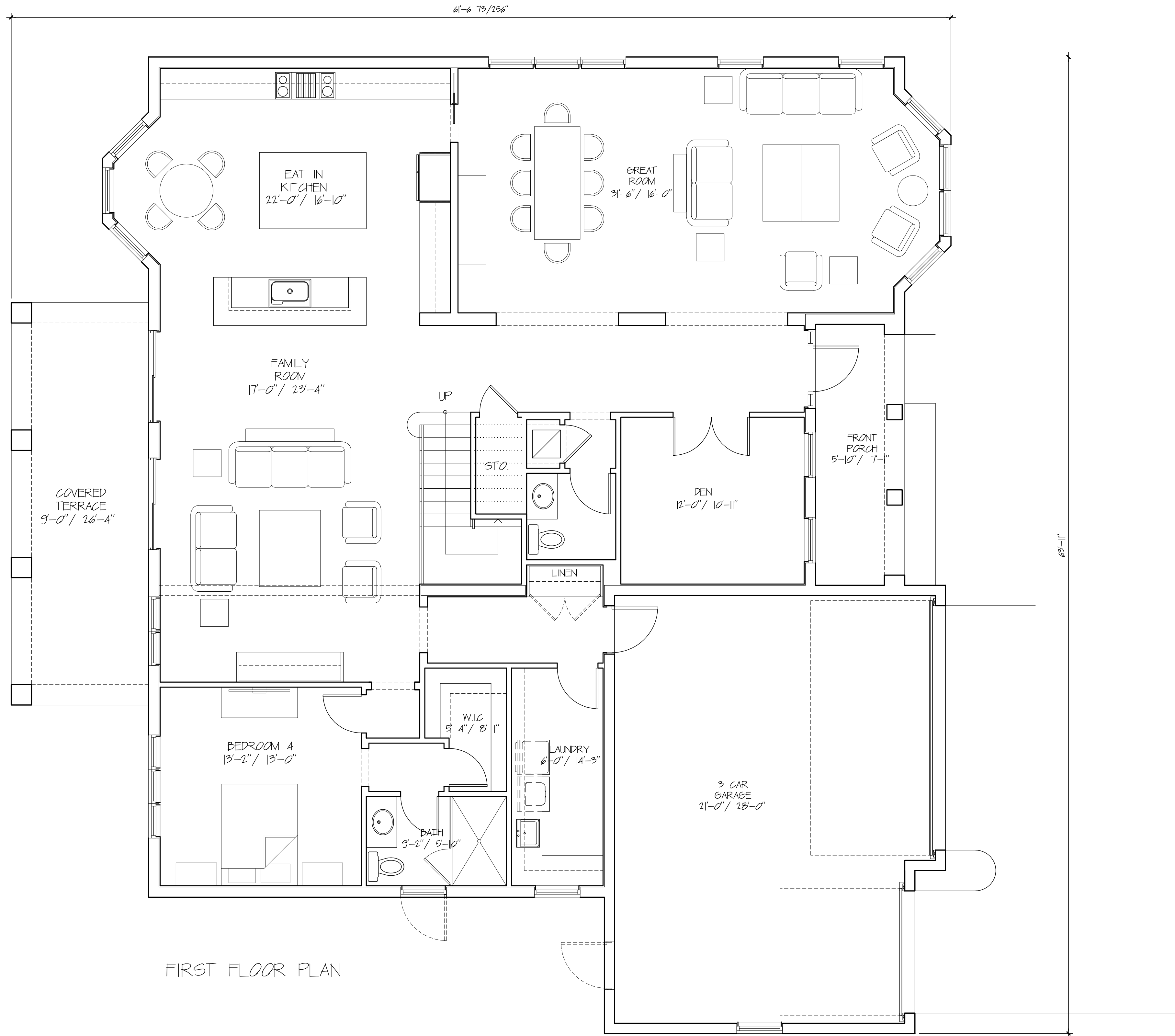
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RAIN FOREST ESTATES
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 CITY OF COCONUT CREEK

SCALE 1/8" = 1'-0"
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FIRST FLOOR PLAN

AREA SUMMARY	
1ST FLOOR A/C	2,296 SQ. FT.
2ND FLOOR A/C	1,561 SQ. FT.
TOTAL A/C SPACE	3,857 SQ. FT.
FRONT PORCH	100 SQ. FT.
GARAGE AND STORAGE	611 SQ. FT.
COVERED TERRACE	237 SQ. FT.
TOTAL AREA	4,805 SQ. FT.

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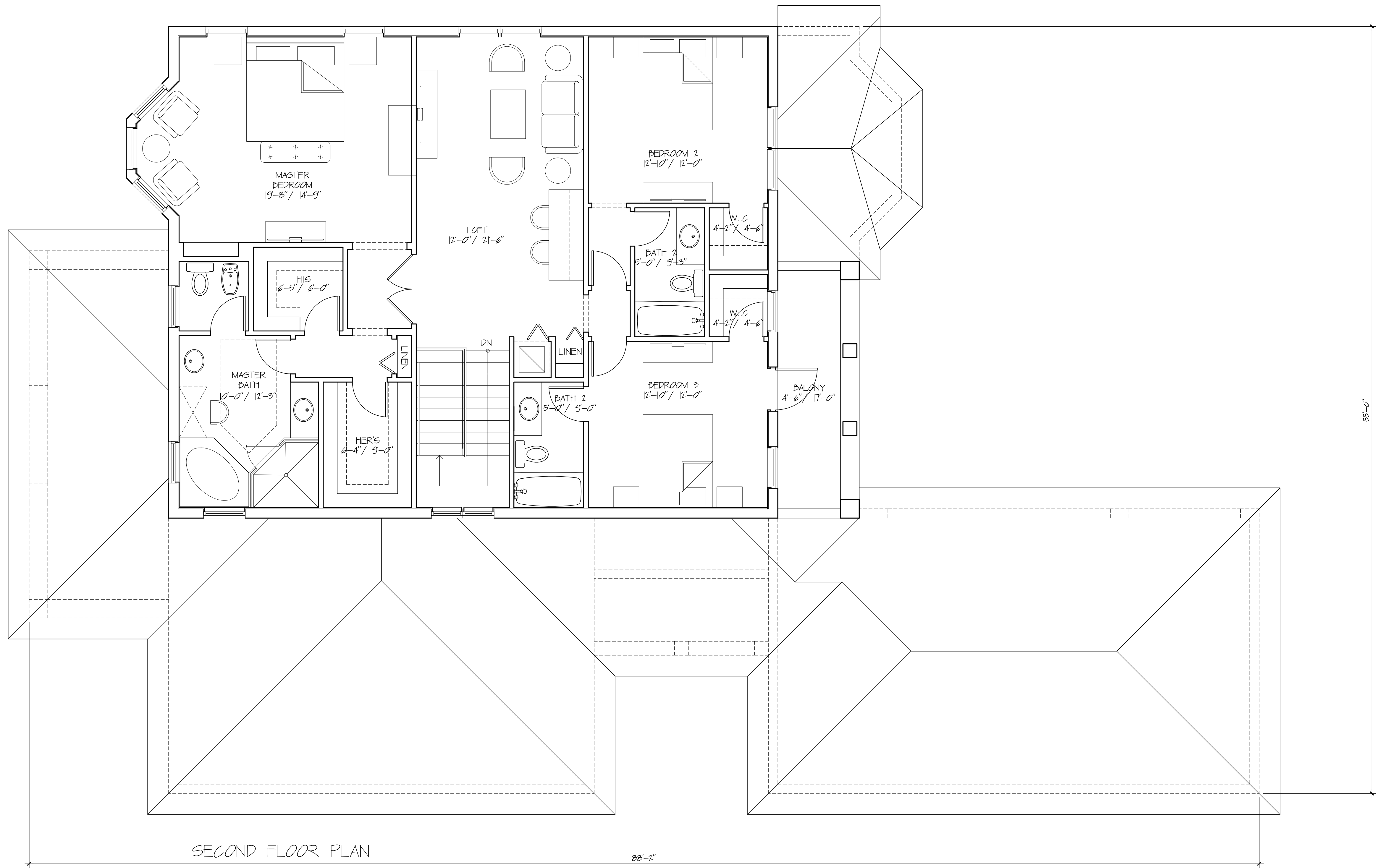
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SECOND FLOOR PLAN

88'-2"

95'-0"

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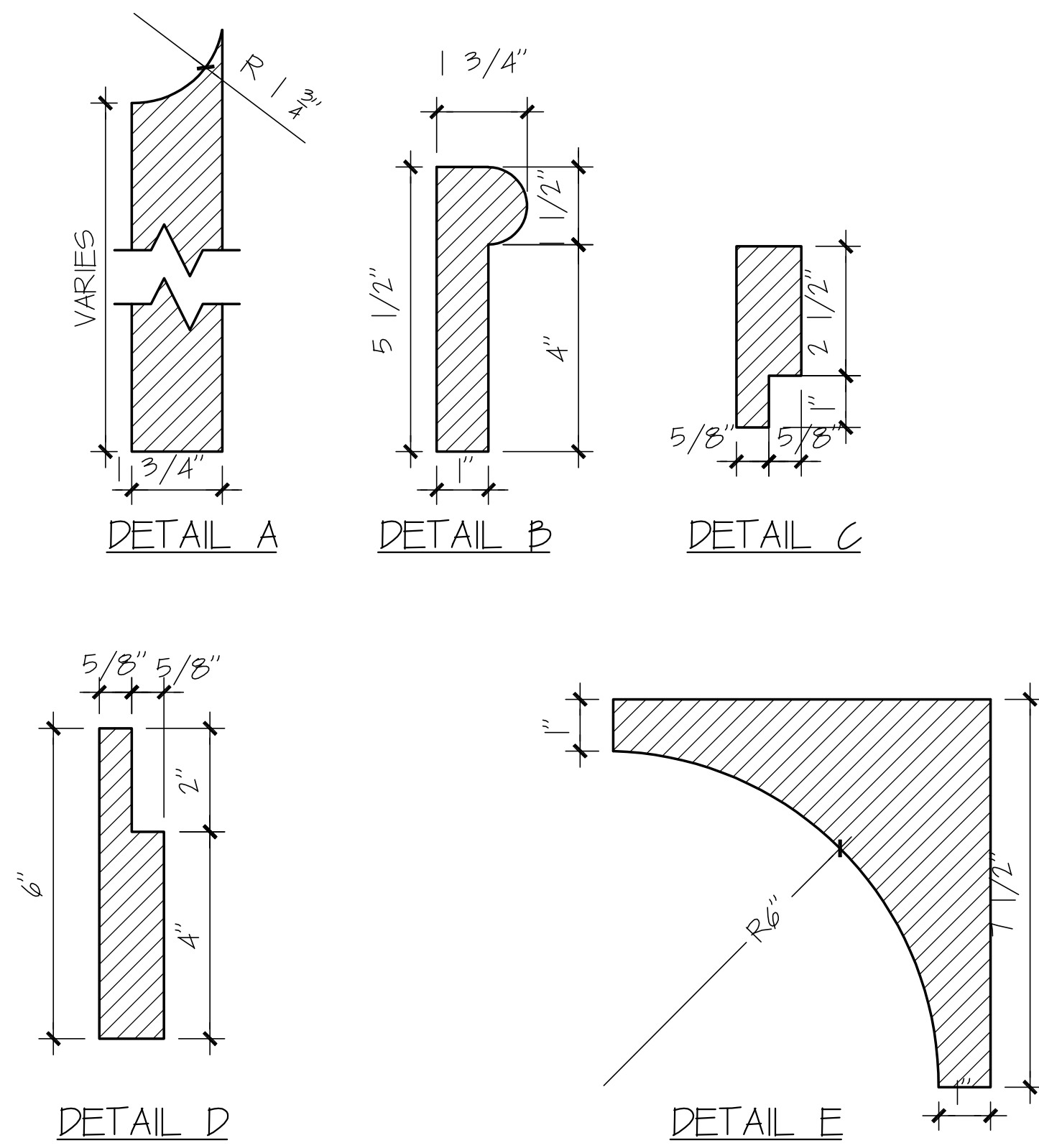
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ELEVATION KEYNOTES:

1. SPANISH "S" CEMENT ROOF TILES
2. GALV. METAL DRIP PAINTED
3. 2"x8" WOOD FASCIA (STRUCTURAL GRADE) (PAINTED)
4. LIGHT TEXTURED STUCCO TYP. REFER TO WALL SECTIONS AND GENERAL NOTES
5. 1" RAISED SMOOTH STUCCO BASE HEIGHT TO MATCH ADJACENT WINDOW SILL (SEE DETAIL A THIS SHEET)
6. 1"x4" SMOOTH FINISHED STUCCO BAND
7. SMOOTH STUCCO BAND (SEE DETAIL D THIS SHEET)
8. SMOOTH STUCCO BAND (SEE DETAIL C THIS SHEET)
9. SMOOTH STUCCO BAND (SEE DETAIL D THIS SHEET)
10. SMOOTH STUCCO MOLDING (SEE DETAIL E THIS SHEET)
11. ALUMINUM RAILING CONTRACTOR TO SUBMIT SHOP DRAWING TO ARCHITECT PRIOR TO FABRICATION



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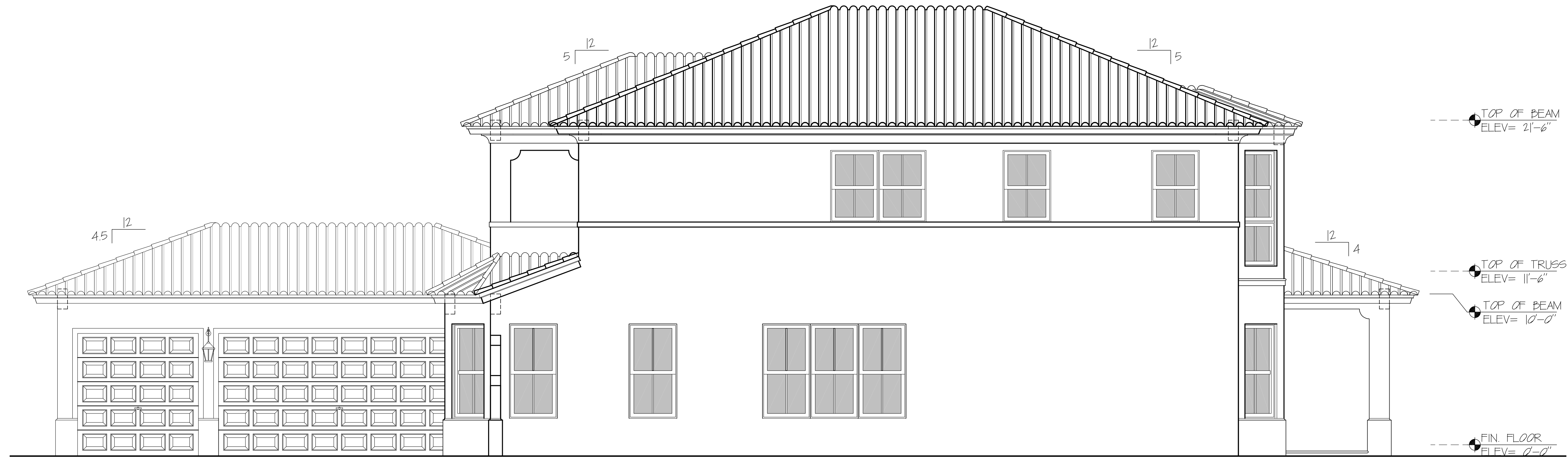
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LEFT ELEVATION



RIGHT ELEVATION

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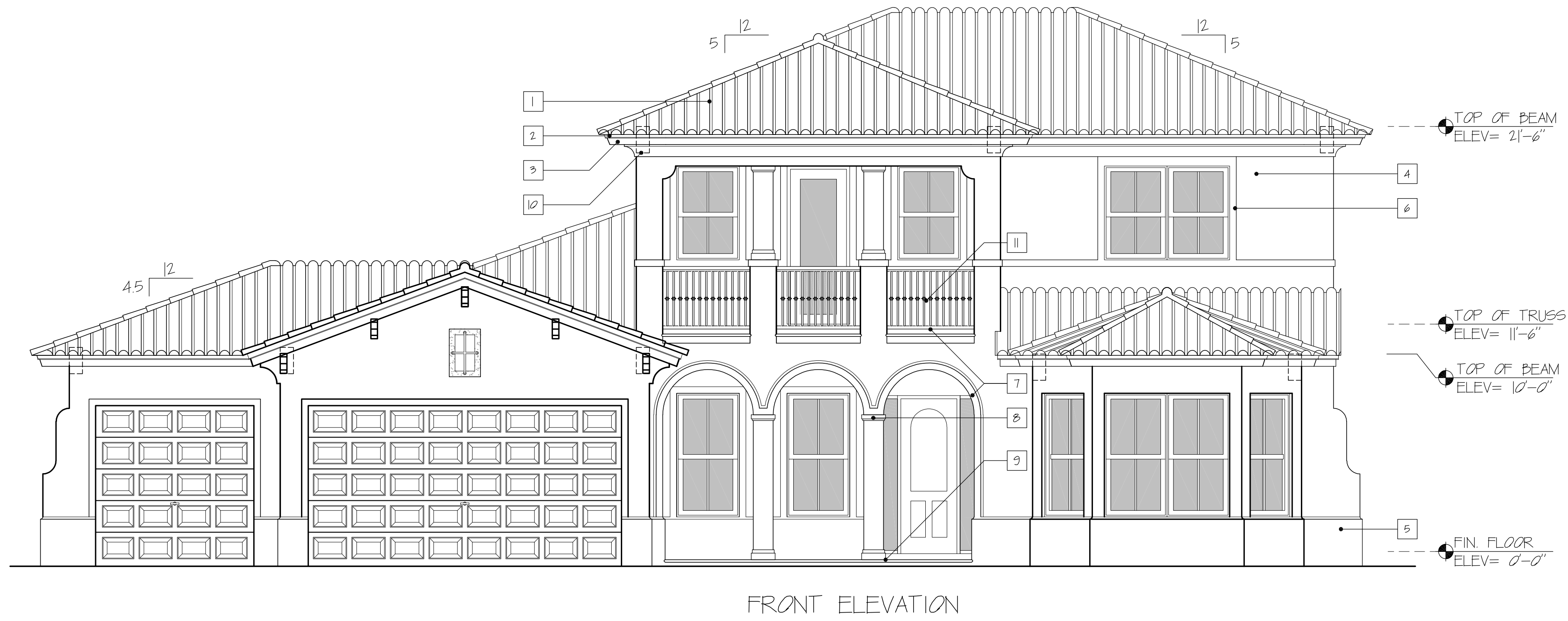
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