



FLORIDA ARCHITECT
 # AR 92111

DATE	07/21/2012
PROJECT NO.	12-125
CAD REFERENCE NO.	AUTOCAD 2012
PLOT REFERENCE NO.	NONE
DRAWING SCALE	SEE DRAWING

REVISIONS	NO.	DATE	DESCRIPTION
	1	8/30/12	ISSUED FOR BUILDING PERMIT REVIEW
	2	10/02/12	REVISED PER CITY COMMENTS

PROJECT TITLE

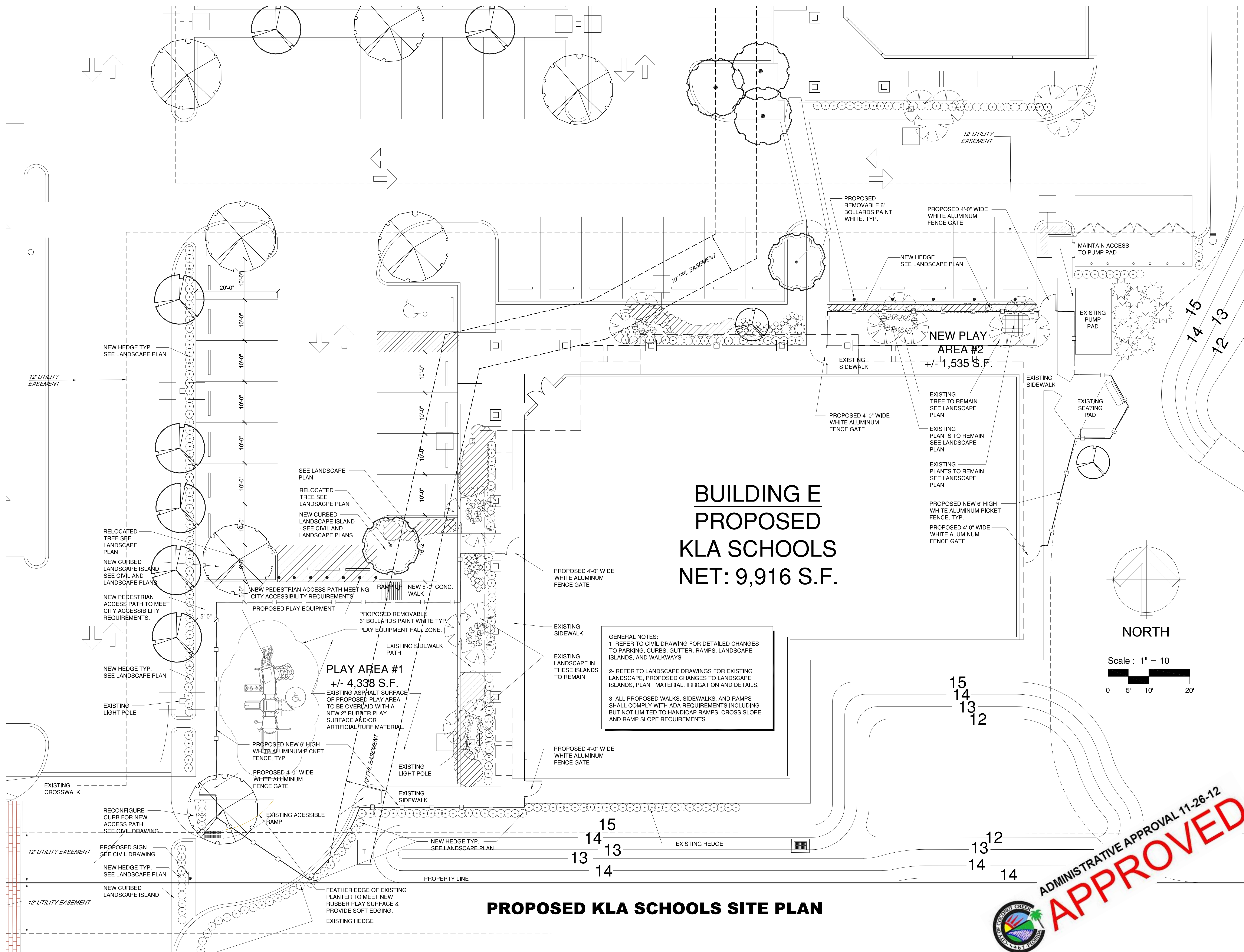
KIDS LEARNING ADVENTURE
 KLA SCHOOLS
 FOR EARLY CHILDHOOD EDUCATION
 REGENCY LAKES VILLAGE CENTER
 S.R.7 (441) & REGENCY LAKES BOULEVARD
 BUILDING "E"
 COCONUT CREEK, FLORIDA 80134

SHEET TITLE

PROPOSED SITE PLAN

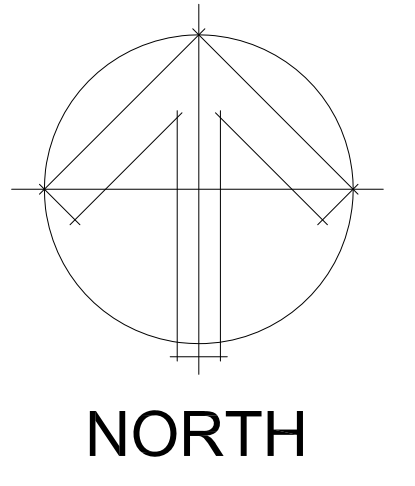
SHEET NUMBER

SP



**BUILDING E
 PROPOSED
 KLA SCHOOLS
 NET: 9,916 S.F.**

GENERAL NOTES:
 1- REFER TO CIVIL DRAWING FOR DETAILED CHANGES TO PARKING, CURBS, GUTTER, RAMPS, LANDSCAPE ISLANDS, AND WALKWAYS.
 2- REFER TO LANDSCAPE DRAWINGS FOR EXISTING LANDSCAPE, PROPOSED CHANGES TO LANDSCAPE ISLANDS, PLANT MATERIAL, IRRIGATION AND DETAILS.
 3. ALL PROPOSED WALKS, SIDEWALKS, AND RAMPS SHALL COMPLY WITH ADA REQUIREMENTS INCLUDING BUT NOT LIMITED TO HANDICAP RAMPS, CROSS SLOPE AND RAMP SLOPE REQUIREMENTS.



ADMINISTRATIVE APPROVAL 11-26-12
APPROVED

PROPOSED KLA SCHOOLS SITE PLAN





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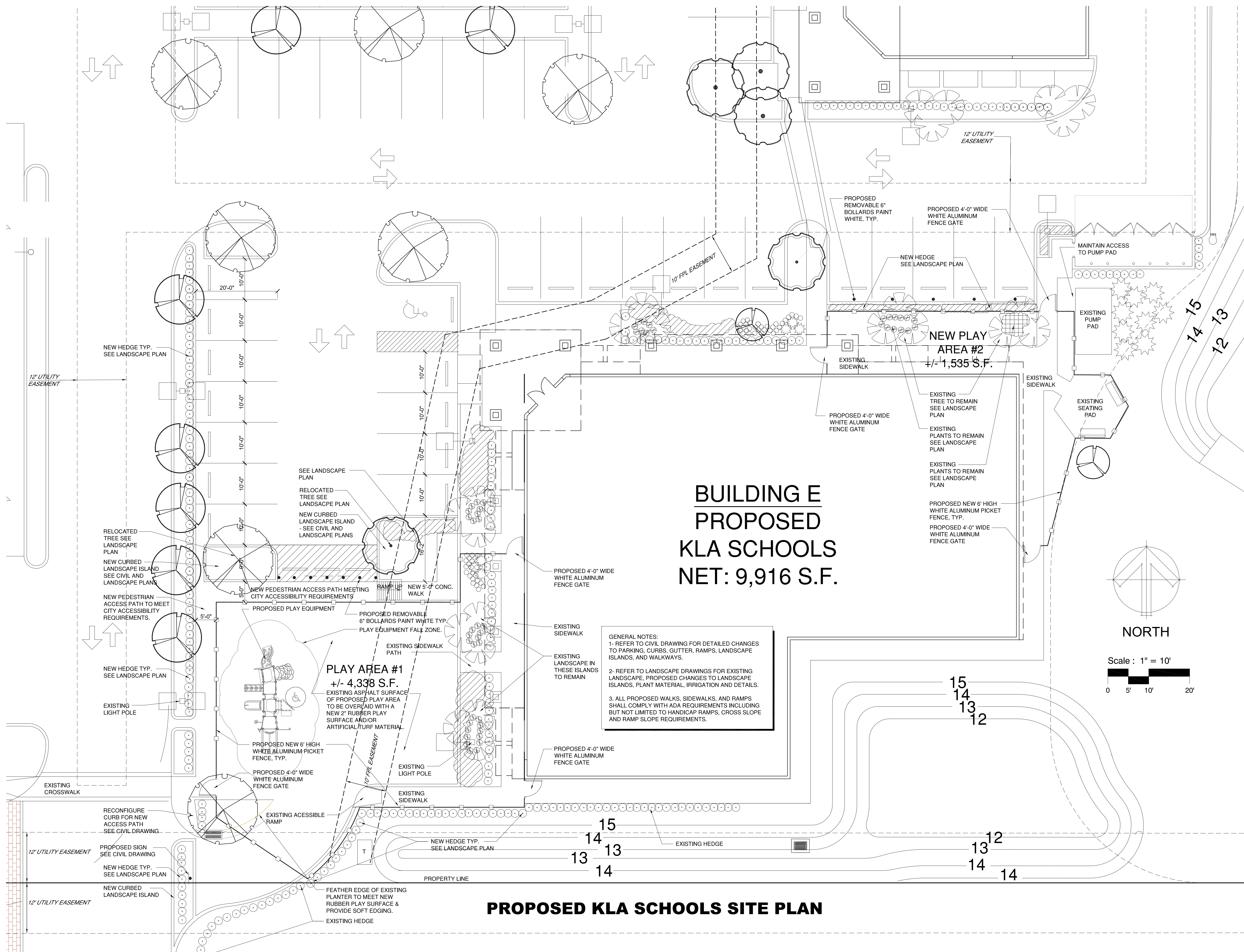
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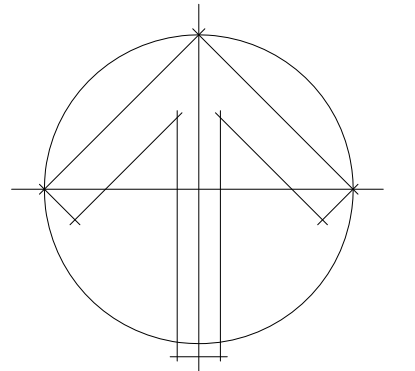
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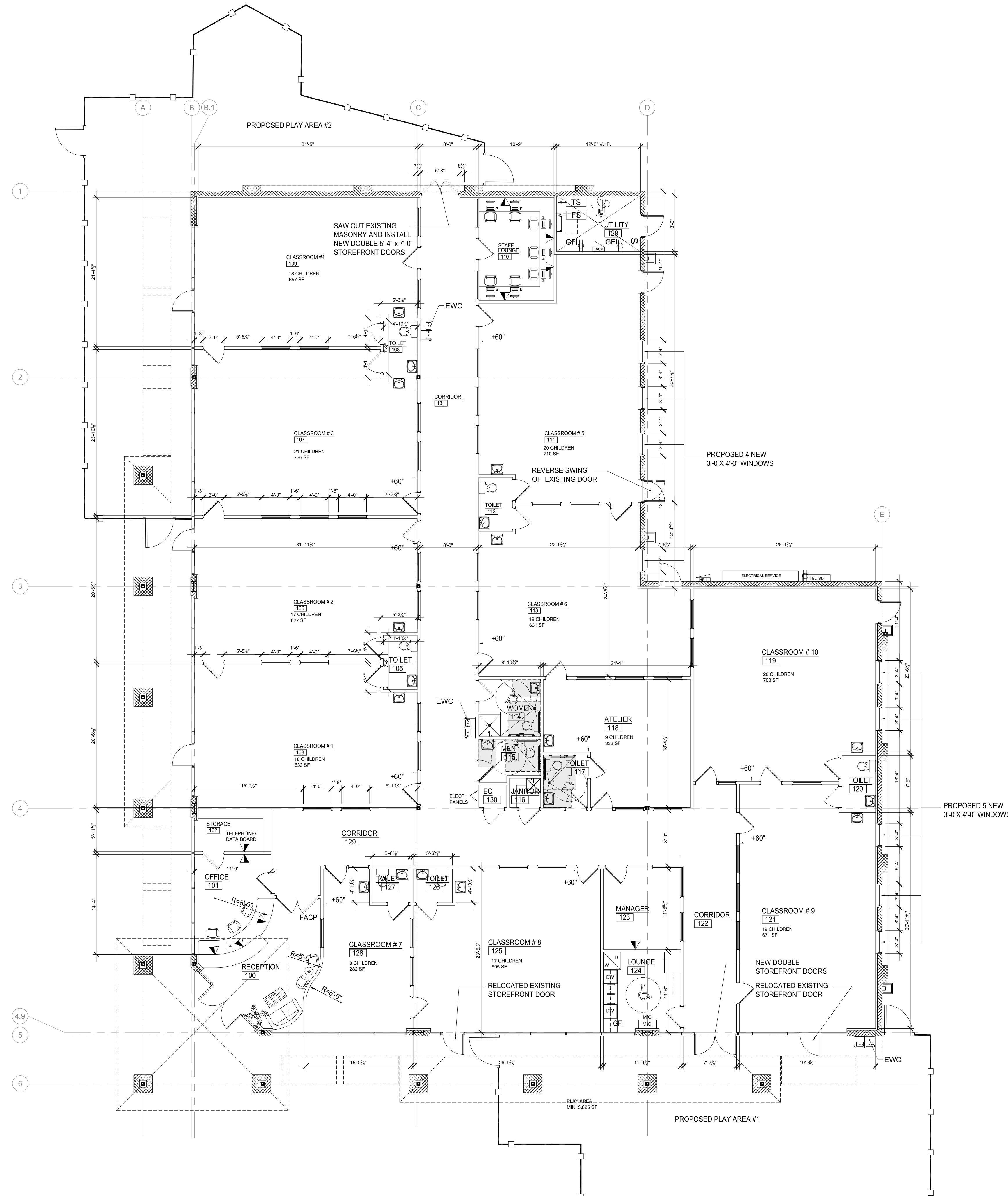


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PROPOSED KLA SCHOOLS SITE PLAN



1 FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"



SEAL



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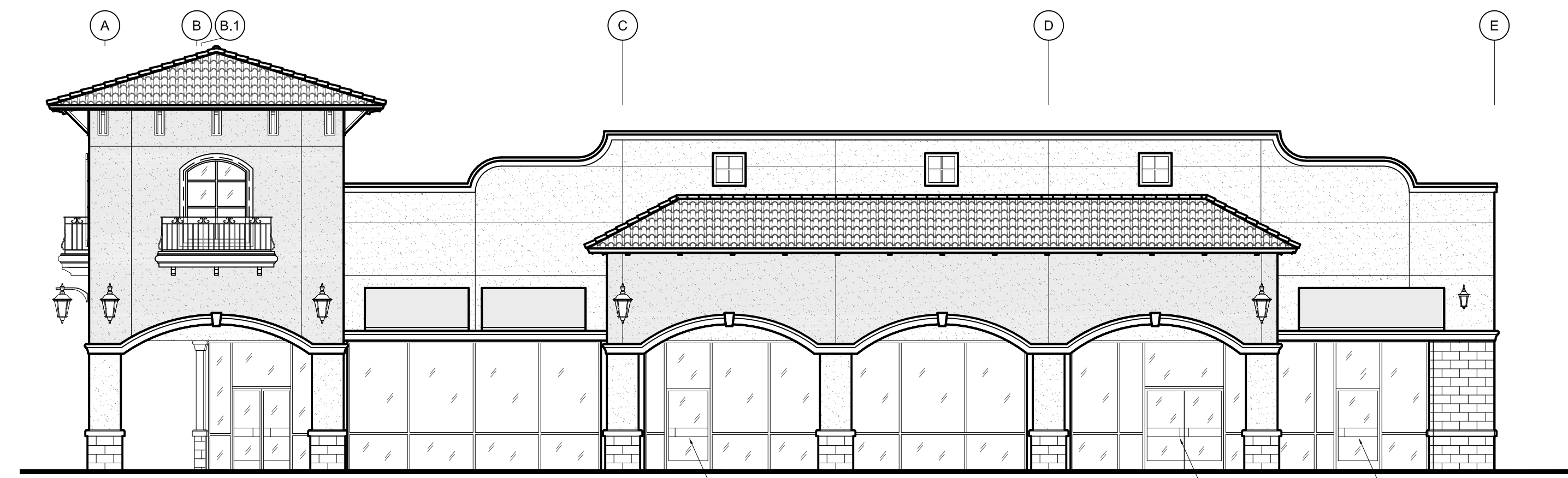
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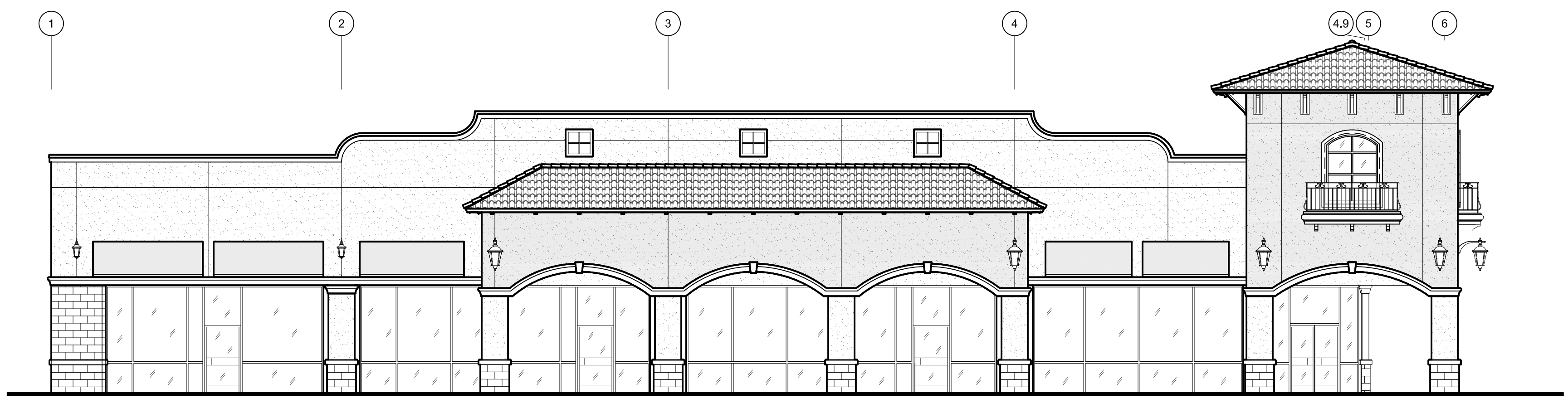
PROPOSED FLOOR PLAN

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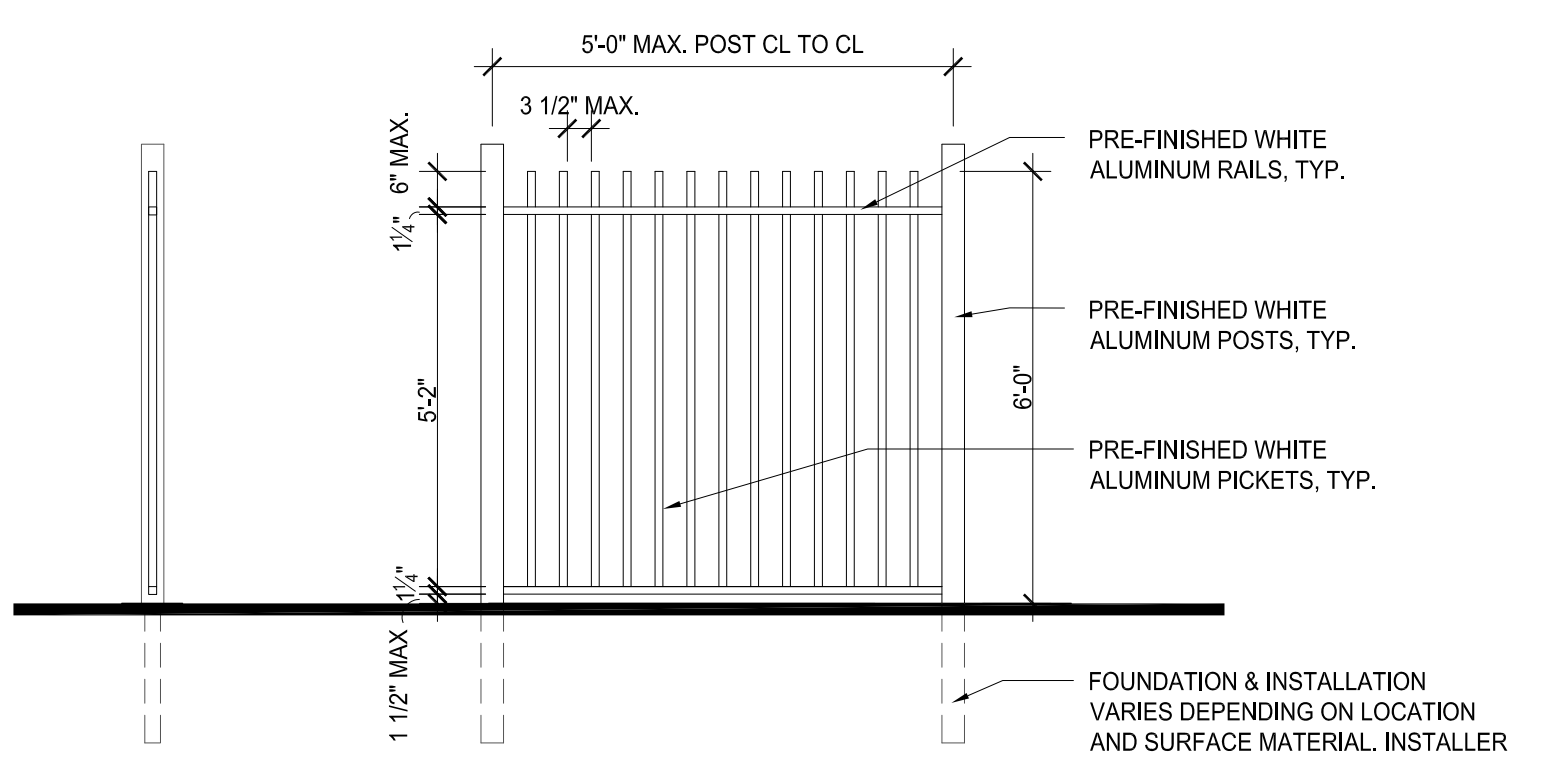
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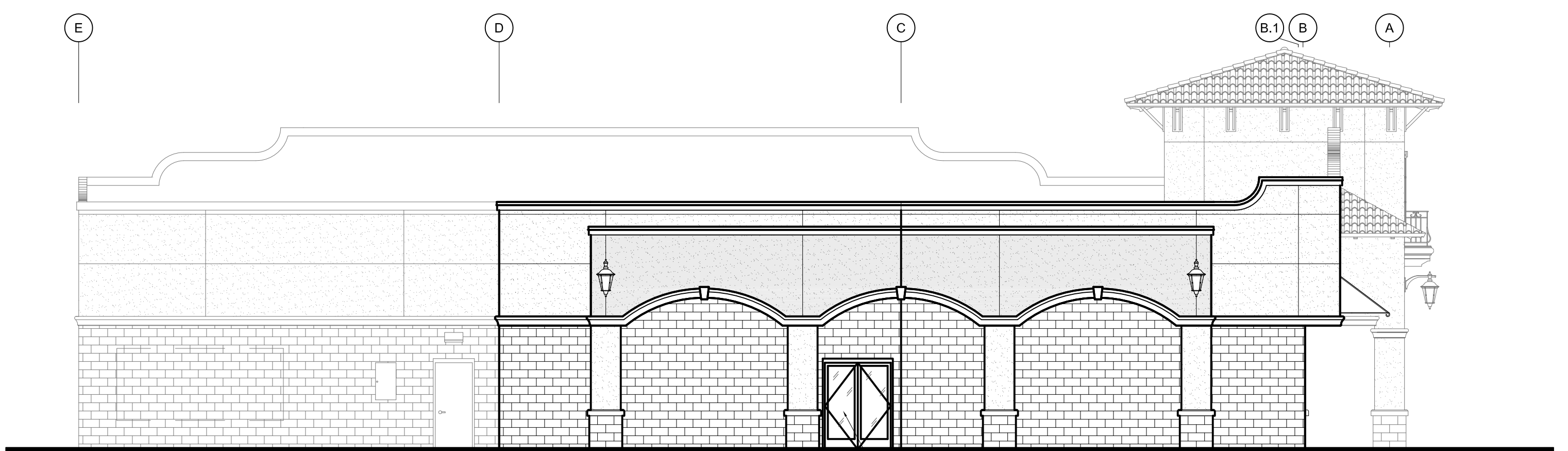
4 WEST ELEVATION
 SCALE: 1/8" = 1'-0"
 RELOCATED EXISTING STOREFRONT DOOR
 NEW DOUBLE STOREFRONT DOORS
 RELOCATED EXISTING STOREFRONT DOOR



3 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

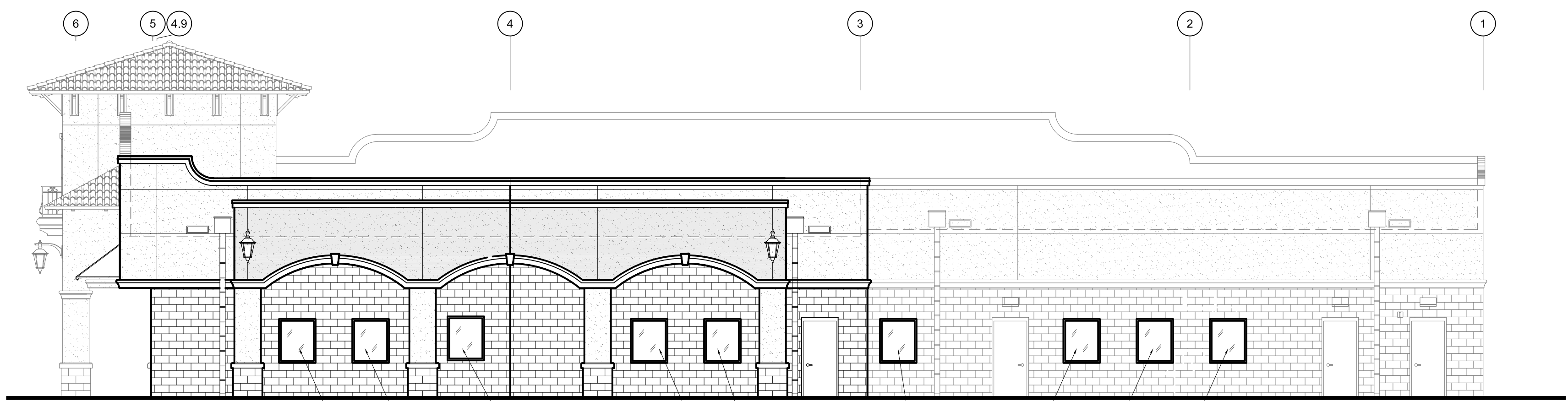


5 PLAY AREA FENCE DETAILS
 SCALE: 3/8" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"
 SAW CUT EXISTING MASONRY AND INSTALL NEW DOUBLE STOREFRONT DOORS

GENERAL NOTES:
 ALL BUILDING ELEVATIONS SHOWN HEREIN
 ARE EXISTING CONDITIONS TO REMAIN AS
 IS UNLESS OTHERWISE NOTED.



1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"
 SAW CUT EXISTING MASONRY AND INSTALL NEW STOREFRONT WINDOWS

SEAL



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BUILDING ELEVATIONS

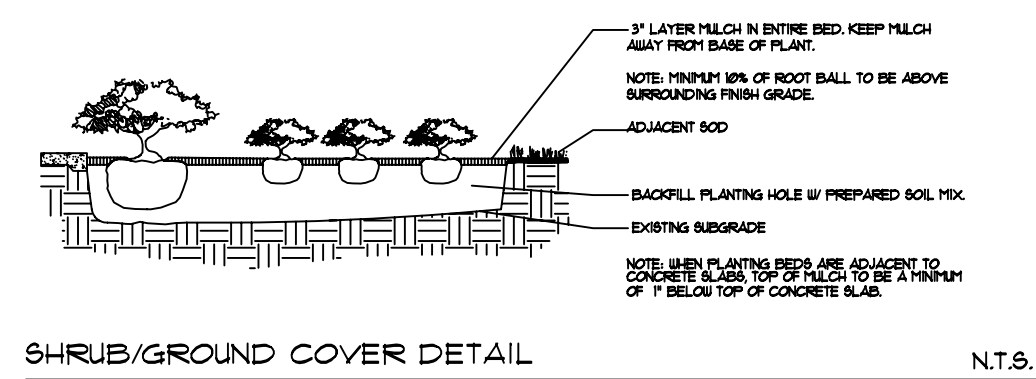
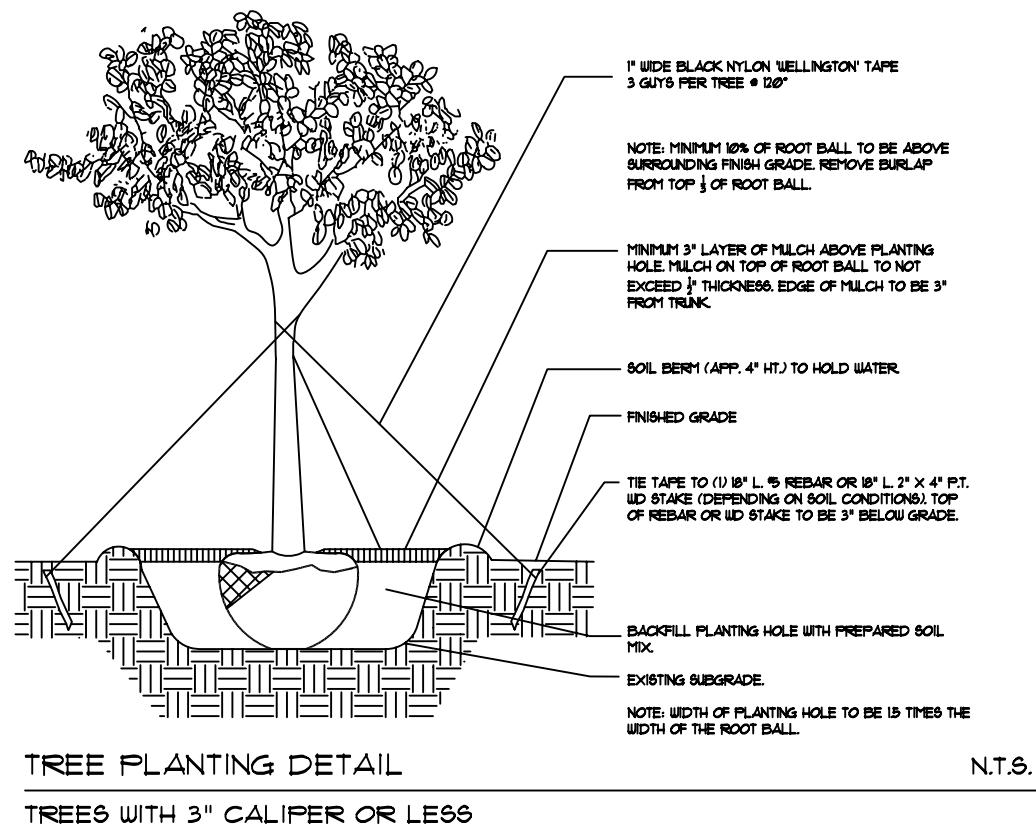
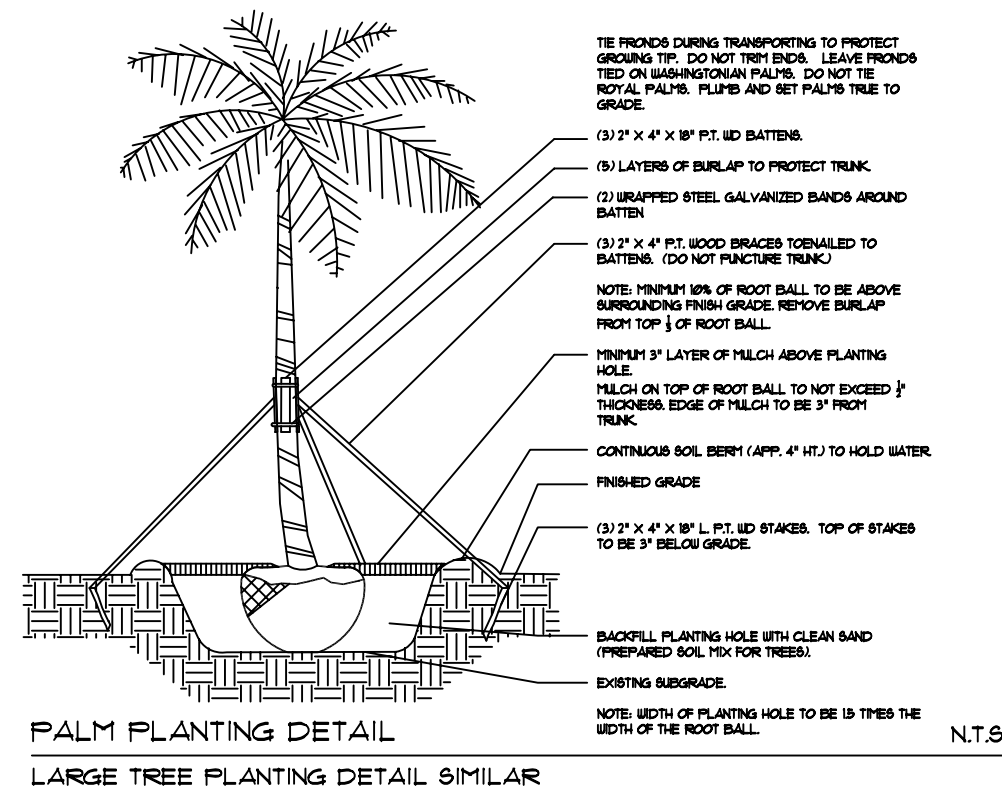
SHEET NUMBER

A2.1

CITY OF COCONUT CREEK
STANDARD LANDSCAPE NOTES

- All landscape and specifications shall meet or exceed the minimum requirements as provided in the City of Coconut Creek Land Development Code. Plans are incomplete without written notes and specifications.
- All planting material shall meet or exceed Florida Grade #1 as specified in Grades and Standards for Nursery Plants, current edition. Trees shall not be tipped, topped, or shaped prior to installation.
- Landscape shall be placed to edge of abutting streets, canals, lakes or other lands.
- All mechanical equipment, air conditioning, irrigation pump stations and equipment, FPL transformers, pool pumps, etc., must be screened on three (3) sides by landscape shrubs.

NOTE: The quantity of screening shrubs is in addition to the required number of shrubs as provided in the code calculation table. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust on-center spacing as necessary and/or provide additional plants to provide an adequate screen.
- Sight distance concerns must be maintained for clear sight visibility from thirty (30) inches to seventy-two inches, tree trunks excluded. Measurement shall be made from top of root ball planted at proper elevation.
- Guying/staking practices shall not permit nails, screws, wires, etc., to penetrate outer surfaces of trees, palms or other plant material. Trees, palms and plant material rejected due to this practice shall be replaced with the inspector on site.
- Burlap material, wire cages, plastic/canvas straps, etc., must be cut and removed for the top one-half (1/2) depth of the root ball. Trees and shrubs grown in grow bags or grow bag type material must have such material REMOVED ENTIRELY prior to planting the tree or shrub.
- All plant material shall be free of pests, insects, disease, weeds, etc.
- All required landscape material shall be installed using a planting soil mix comprised of a type appropriate to the individual proposed plant material and the native soil found on the site.
- All plant material shall be planted at the proper depth, as originally grown and/or so the top of the root ball is flush or slightly above finished grade immediately after planting. All trees should provide trunk taper when properly planted at the correct planting depth.
- All plant material shall be watered in at time of planting to eliminate air pockets in the root zone area.
- Color-treated or dyed mulch will not be accepted.
- Upon completion of work, the site shall be cleared of all debris, superfluous materials, and equipment caused by this permit to the satisfaction of the inspector.
- Refer to Coconut Creek Fire Equipment Clear Zone diagram to maintain a safe zone fronting fire hydrants.
- Do not plant trees, shrubs or groundcover within Electric Meter Clear Zone. Provide a safe zone as described by the Electrical Inspector.
- All landscaped areas shall be provided with an underground fully automatic irrigation system using pop-up sprinklers. System shall provide 100% coverage with a 50% overlap (minimum) using rust free water, except preserved areas remaining in natural state. A rain sensor device or switch shall be installed that will override the irrigation system when adequate rainfall has occurred. Water shall not be directed and/or provided onto impervious surfaces and/or be designed or installed to throw water over an impervious surface such as a sidewalk, etc. Hours of operation for all irrigation systems shall be limited to 5:00 p.m. to 8:00 a.m. only or as may be further restricted by South Florida Water Management District or other jurisdictional agency.
- Irrigation permits and plans shall be submitted for approval at time of building permits.
- All non-single family or duplex irrigation systems other than City water systems shall require a South Florida Water Management District water use permit prior to issuance of an irrigation permit and installation of the irrigation system as required.
- All site amenities to include site street lights, landscape common open space, irrigation common open space, buffers, berms, landscape entry features, etc. leading up to and including the model center and/or first certificate of occupancy must be completed and functional prior to issuance of the first requested certificate of occupancy.
- The height of all required, designed and installed berms shall be from the highest adjacent point whether it is the sidewalk, parking area, vehicular use area, surrounding ground, etc. Where a berm abuts a sidewalk, there shall be a one (1) foot level sod area adjacent to the sidewalk prior to the start of incline for the berm.
- An inspection is required prior to the backfilling of trees/palms in all parking medians and islands.



PLANT NOTES

- ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA, DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS: PARTS I & II, SECOND EDITION FEBRUARY 1998, RESPECTIVELY, AND UPDATED IN 2005.
- ALL PLANTING BEDS TO BE TOPPED WITH 3" OF MULCH EXCLUDING TOP OF ROOT BALL (REFER TO PALM & TREE PLANTING DETAILS).
- ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER. NO NAIL STAKING IN TREE OR PALM TRUNKS IS PERMITTED.
- LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL APPLICABLE MUNICIPAL CODES.
- ALL SOD SHALL BE ST. AUGUSTINE FLORATAM® SOLID SOD, (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ABUTTING JOINTS.
- ALL PLANTING BEDS TO BE WEED AND GRASS FREE.
- LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE THEIR OWN QUANTITY CALCULATIONS (PRIOR TO BID COST AND COMPARE TO THE LANDSCAPE ARCHITECT'S PLANT LIST). LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ATTAINING AN ACCURATE COUNT OF THE PLANT MATERIALS SPECIFIED. IN THE EVENT OF DISCREPANCIES, THE LANDSCAPE CONTRACTORS SHALL NOTIFY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN. THE LANDSCAPE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE PLANT LIST.
- LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. CALL SUNSHINE STATE ONE CALL OF FLORIDA @ 1(800) 432-4110
- NO PLANT MATERIAL OR LAYOUT CHANGES WILL BE ACCEPTABLE UPON INSPECTION WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
- ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 100% OVERLAP. RAIN SENSOR TO BE PROVIDED.

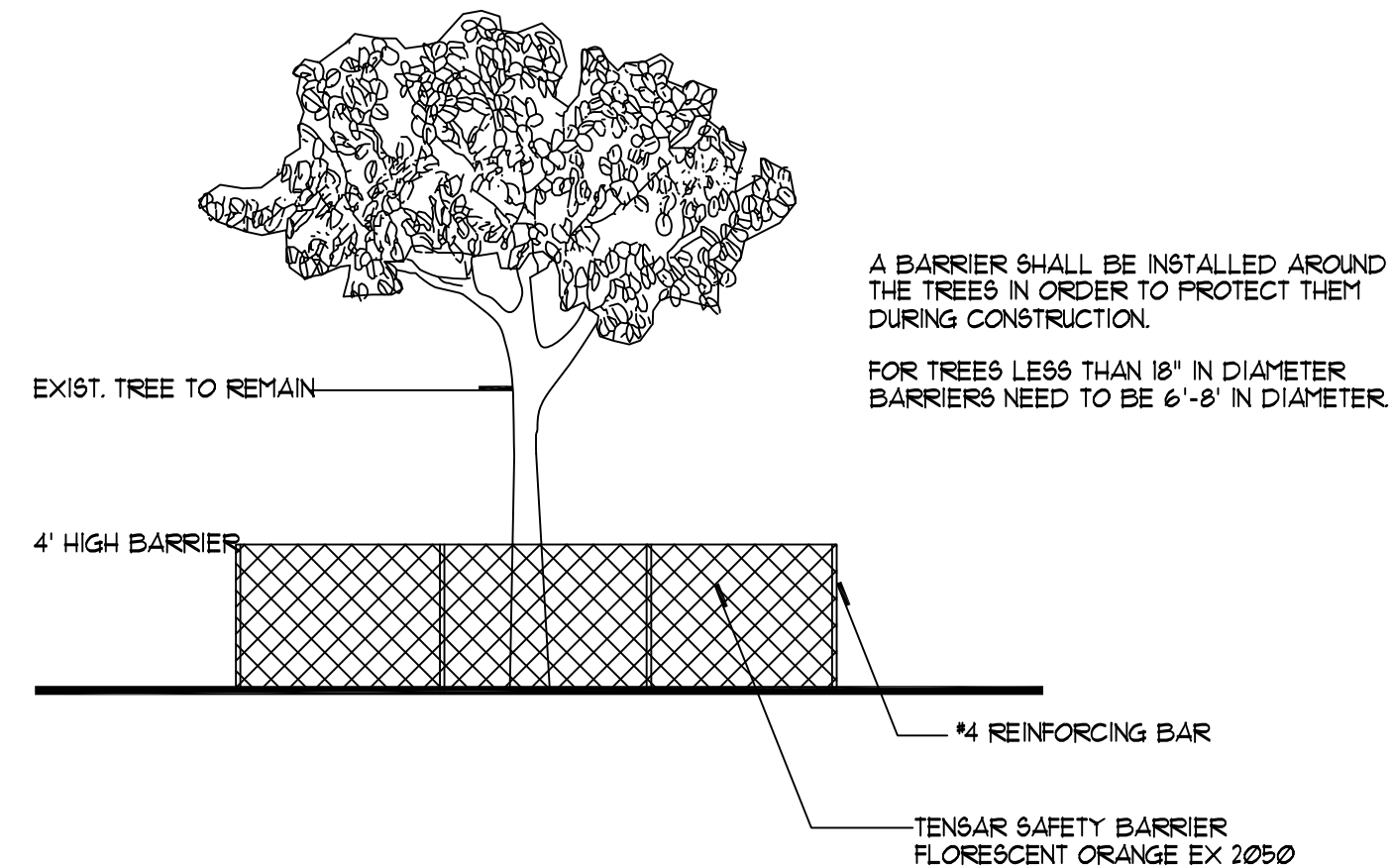
ROOT PRUNING:
 LIVE OAK TO BE ROOT PRUNED FOR A MINIMUM OF SIX (6) WEEKS PRIOR TO RELOCATION.

1 City of Coconut Creek- Additional Notes

- TO THE EXTENT POSSIBLE, LANDSCAPE CONTRACTOR TO PROVIDE TREE BARRICADES AT THE DRIP LINE OF EXIST. TREES WITHIN THE WORK AREA.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY LANDSCAPE/PLANT MATERIAL THAT IS DAMAGED DURING CONSTRUCTION AND SHALL BE RETORED TO SIMILAR OR BETTER CONDITION.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE/WARRANTY ALL NEW & RELOCATED PLANT MATERIAL FOR A (1) YEAR PERIOD, FROM DATE OF C.O.

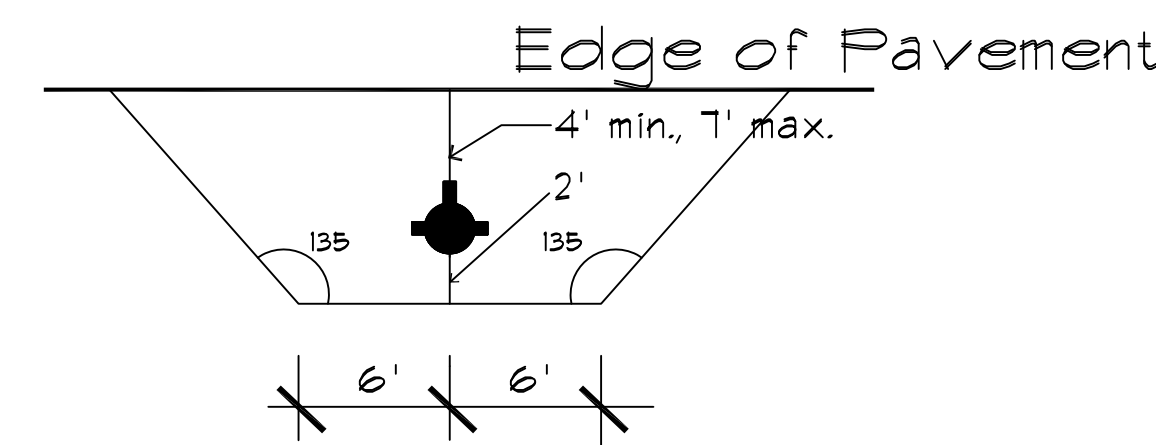
Num	Botanical / Common Name	Disposition	Description: HT / SPR / DBH/ Location, Notes
#1	Pychosperma elegans / Alexander Palm-triple	Remain	20' ht, 12' spr, 3 @ 4" dbh
#2	Pychosperma elegans / Alexander Palm-triple	Remain	20' ht, 12' spr, 3 @ 4" dbh
#3	Roystonea elata / Royal Palm	Remain	25' ht, 18' spr, 20" dbh
#4	Ligustrum lucidum / Ligustrum	Remain	12' ht, 12' spr, multi-trunks
#5	Pychosperma elegans / Alexander Palm-triple	Remain	20' ht, 12' spr, 3 @ 4" dbh
#6	Quercus virginiana / Live Oak	Remain	18' ht, 15' spr, 5" dbh.
#7	Roystonea elata / Royal Palm	Relocate	25' ht, 18' spr, 20" dbh
#8	Pychosperma elegans / Alexander Palm-triple	Remain	20' ht, 12' spr, 3 @ 4" dbh
#9	Pychosperma elegans / Alexander Palm-triple	Remain	20' ht, 12' spr, 3 @ 4" dbh
#10	Pychosperma elegans / Alexander Palm-triple	Remain	20' ht, 12' spr, 3 @ 4" dbh
#11	Ilex cassine / Dahoon Holly	Remain	16' ht, 9' spr, 3" dbh
#12	Ilex cassine / Dahoon Holly	Remain	12' ht, 6' spr, 2" dbh
#13	Quercus virginiana / Live Oak	Remain	18' ht, 15' spr, 5" dbh.
#14	Senna surattensis / Glaucous Cassia	Remain	15' ht, 15' spr, 4" dbh.
#15	Senna surattensis / Glaucous Cassia	Remain	15' ht, 15' spr, 4" dbh.
#16	Senna surattensis / Glaucous Cassia	Remain	15' ht, 15' spr, 4" dbh.
#17	Quercus virginiana / Live Oak	Relocate	18' ht, 15' spr, 5" dbh.
#18	Senna surattensis / Glaucous Cassia	Remain	15' ht, 15' spr, 4" dbh.
#19	Senna surattensis / Glaucous Cassia	Remain	15' ht, 15' spr, 4" dbh.
#20	Quercus virginiana / Live Oak	Remain	18' ht, 15' spr, 5" dbh.

QTY	KEY	Botanical Name	Common Name	Description	Native Yes / No
107	VIS	Viburnum suspensum	Sandankwa viburnum	24" ht, 18" spr, 3 gal.	No
3	VIS-1	Viburnum suspensum	Sandankwa viburnum	30" ht, 24" spr, 7 gal.	No
138	JAV	Jasminum volubile	Wax Jasmine	12" ht, 18" spr, 3 gal.	No



TREE PROTECTION BARRIER DETAIL N.T.S.

NOTE: LANDSCAPE CONTRACTOR/ GENERAL CONTRACTOR TO AVOID GRADING BENEATH THE CANOPY OF THE TREES TO BE PRESERVED. SEE TREE SURVEY (LAI0) FOR TREES TO BE PROTECTED.



FIRE HYDRANT CLEAR ZONE N.T.S.

Requirements apply to fire hydrants, siamese connections and any other fire equipment for utilizing fire hose on public or private property.

By the authority of the South Florida Fire Prevention Code Section 5211.2

The diagram shall appear on all landscape plans prior to approval.

The clear zone shall be free of landscape (except sod), mailboxes, parking, lamp-posts and all other objects.

Exceptions: other fire fighting equipment, or traffic posts to protect fire fighting equipment.



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SEE DRAWING	

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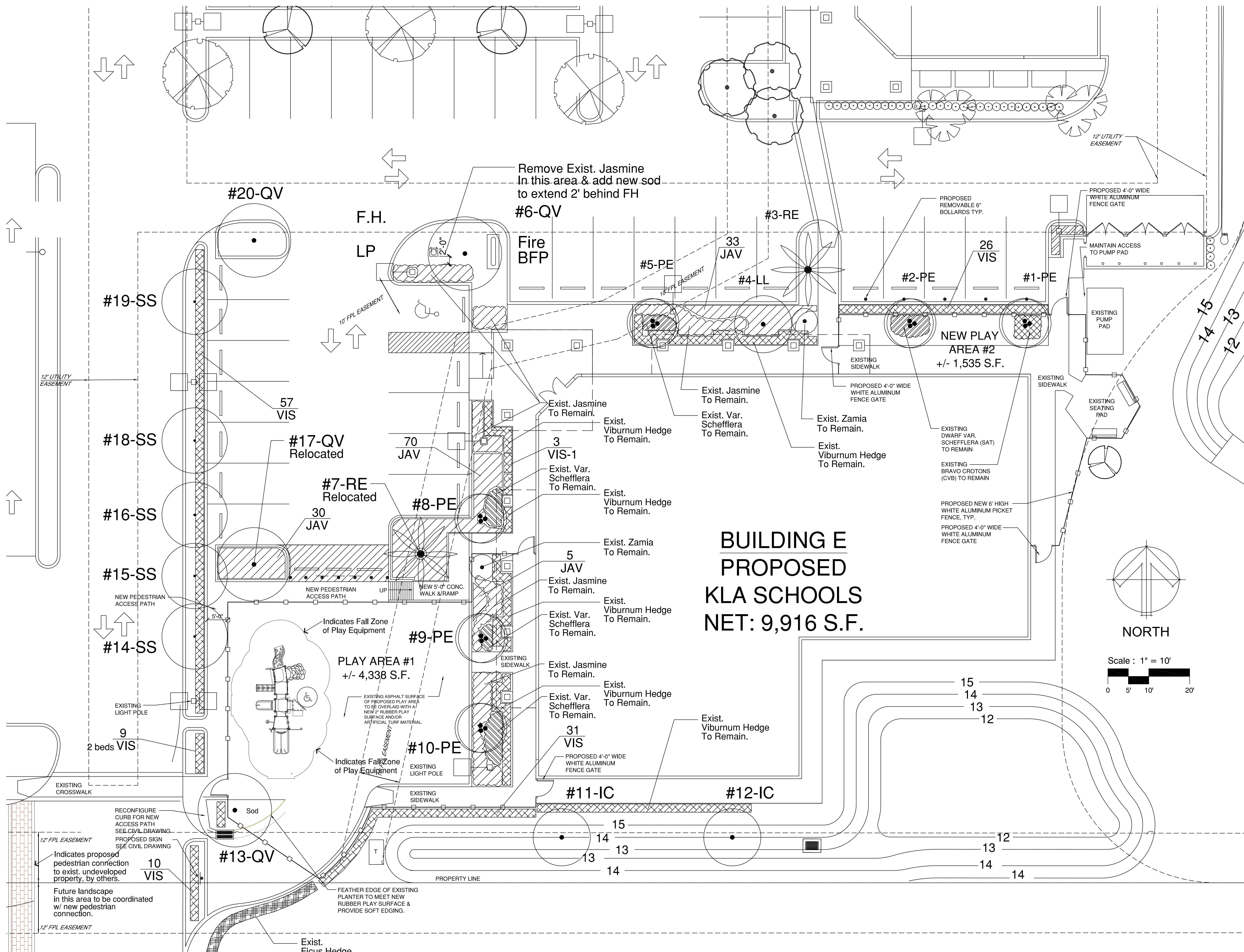
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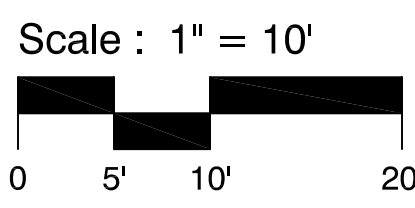
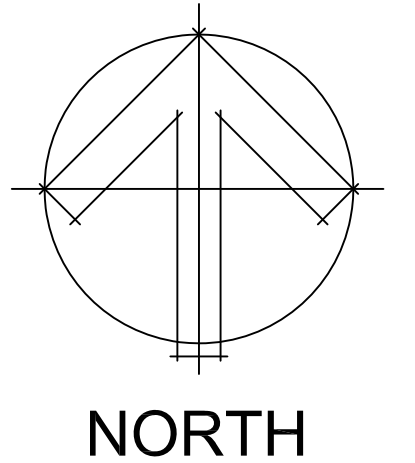
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**BUILDING E
 PROPOSED
 KLA SCHOOLS
 NET: 9,916 S.F.**



#20-QV

#19-SS

#18-SS

#16-SS

#15-SS

#14-SS

9 VIS

10 VIS

#17-QV Relocated

#7-RE Relocated

#9-PE

#13-QV

F.H.

LP

70 JAV

#8-PE

#10-PE

31 VIS

Remove Exist. Jasmine
 In this area & add new sod
 to extend 2' behind FH
#6-QV

Fire BFP

3 VIS-1

5 JAV

#11-IC

#12-IC

#5-PE

Exist. Jasmine To Remain.

Exist. Viburnum Hedge To Remain.

Exist. Var. Schefflera To Remain.

Exist. Viburnum Hedge To Remain.

Exist. Zamia To Remain.

Exist. Jasmine To Remain.

Exist. Viburnum Hedge To Remain.

Exist. Var. Schefflera To Remain.

Exist. Viburnum Hedge To Remain.

Exist. Var. Schefflera To Remain.

Exist. Viburnum Hedge To Remain.

#3-RE

#4-LL

Exist. Jasmine To Remain.

Exist. Var. Schefflera To Remain.

Exist. Zamia To Remain.

Exist. Viburnum Hedge To Remain.

EXISTING DWARF VAR. SCHEFFLERA (SAT) TO REMAIN

EXISTING BRAVO CROTONS (CVB) TO REMAIN

PROPOSED NEW 6' HIGH WHITE ALUMINUM PICKET FENCE, TYP.

PROPOSED 4'-0" WIDE WHITE ALUMINUM FENCE GATE

PROPOSED REMOVABLE 6" BOLLARDS TYP.

PROPOSED 4'-0" WIDE WHITE ALUMINUM FENCE GATE

PROPOSED 4'-0" WIDE WHITE ALUMINUM FENCE GATE

PROPOSED 4'-0" WIDE WHITE ALUMINUM FENCE GATE

EXISTING PUMP PAD

EXISTING PUMP PAD

EXISTING SEATING PAD

EXISTING SEATING PAD

EXISTING SEATING PAD

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EXISTING SEATING PAD

12" UTILITY EASEMENT

12" UTILITY EASEMENT

12" UTILITY EASEMENT

12" UTILITY EASEMENT

12" UTILITY EASEMENT

14 15

12 13

15 14 13 12

13 14 14

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12" UTILITY EASEMENT

NEW PEDESTRIAN ACCESS PATH

EXISTING LIGHT POLE

RECONFIGURE CURB FOR NEW ACCESS PATH SEE CIVIL DRAWING

Proposed sign SEE CIVIL DRAWING

Future landscape in this area to be coordinated w/ new pedestrian connection.

12" FPL EASEMENT

PLAY AREA #1 +/- 4,338 S.F.

EXISTING ASPHALT SURFACE OF PROPOSED PLAY AREA TO BE OVERLAID WITH A NEW 2" RUBBER PLAY SURFACE AND/OR ARTIFICIAL TURF MATERIAL.

INDICATES FALL ZONE OF PLAY EQUIPMENT

INDICATES FALL ZONE OF PLAY EQUIPMENT

EXISTING LIGHT POLE

EXISTING SIDEWALK

EXISTING SIDEWALK

FEATHER EDGE OF EXISTING PLANTER TO MEET NEW RUBBER PLAY SURFACE & PROVIDE SOFT EDGING.

EXIST. FICUS HEDGE

EXIST. FICUS HEDGE

EXIST. FICUS HEDGE

PROPERTY LINE

EXIST. FICUS HEDGE

EXIST. FICUS HEDGE

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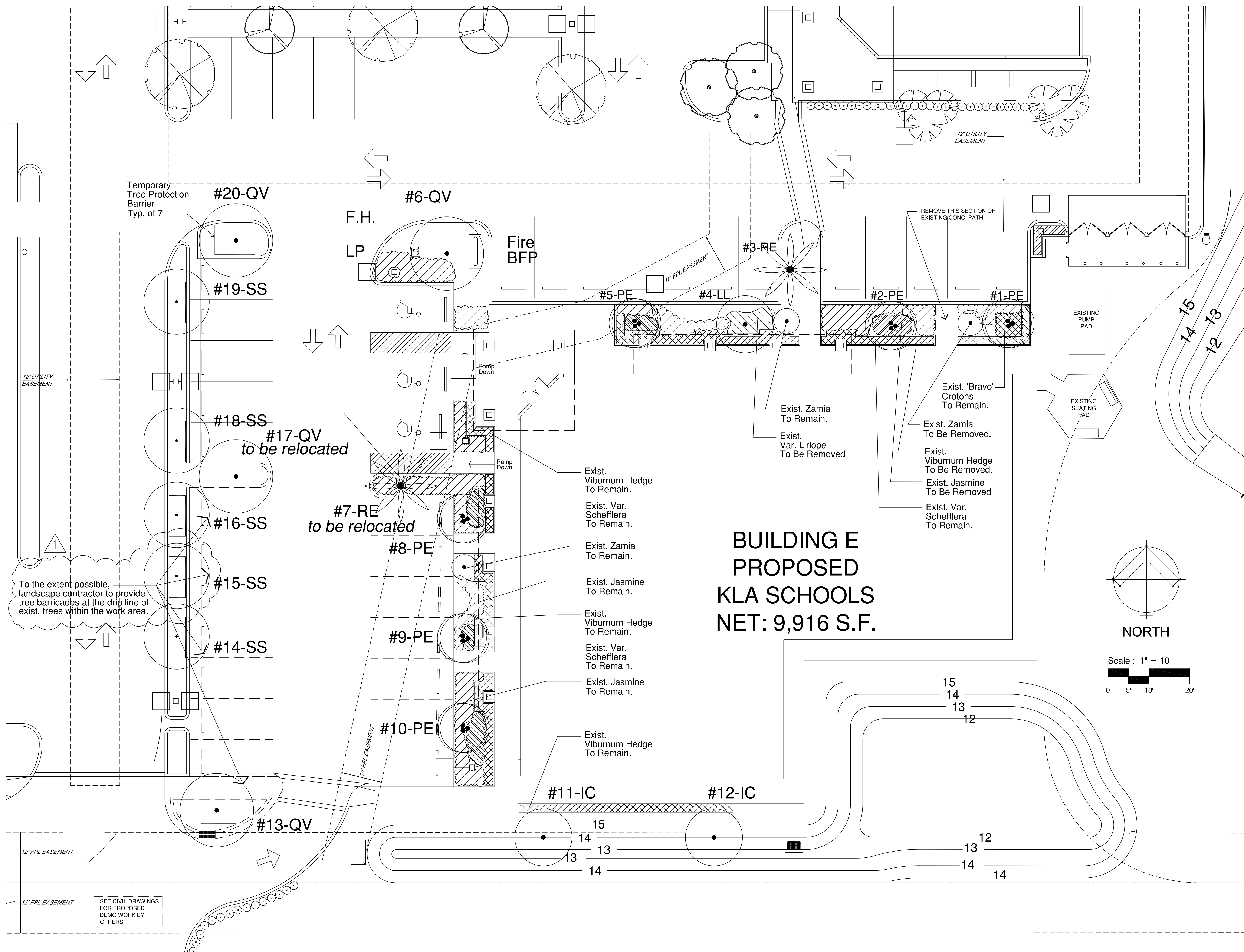
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EXIST. FICUS HEDGE

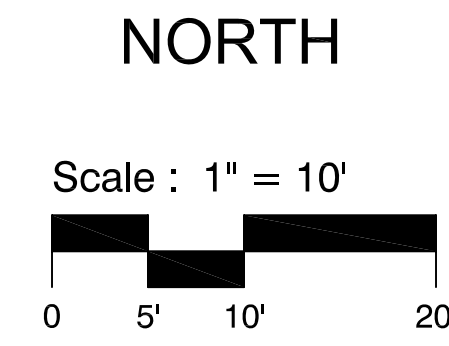
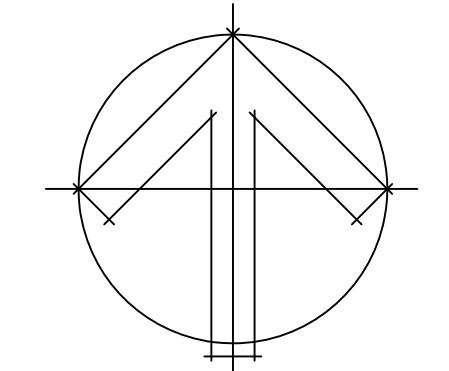
NO.	DATE	DESCRIPTION
1	07/21/12	ISSUED TO CITY OF COCONUT CREEK

KIDS LEARNING ADVENTURE
 KLA SCHOOLS
 FOR EARLY CHILDHOOD EDUCATION
REGENCY LAKES VILLAGE CENTER
 S.R. 7 (441) & REGENCY LAKES BOULEVARD
 BUILDING "E"
 COCONUT CREEK, FLORIDA 80134

SHEET TITLE
 Tree Survey /
 Existing Landscape



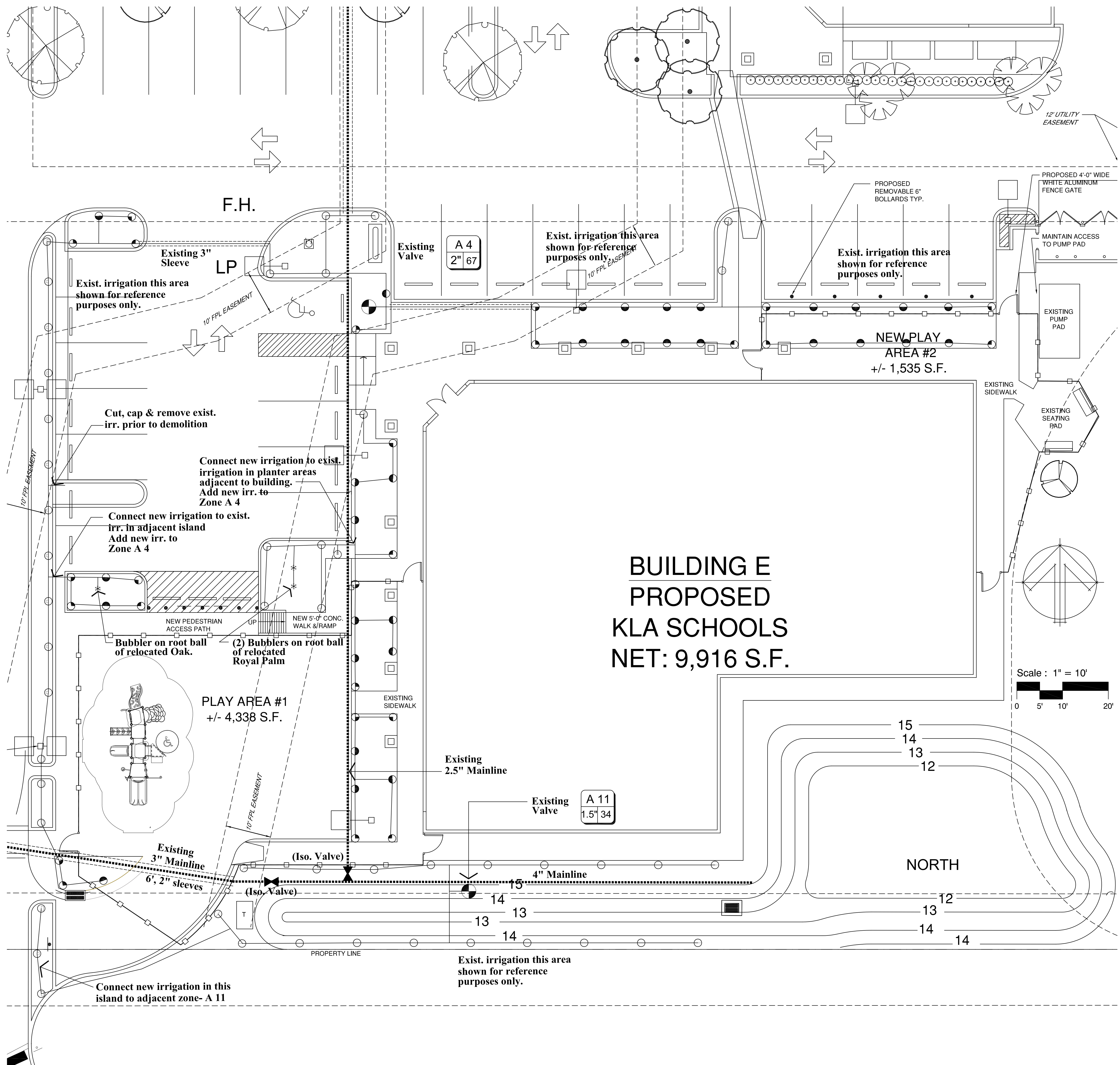
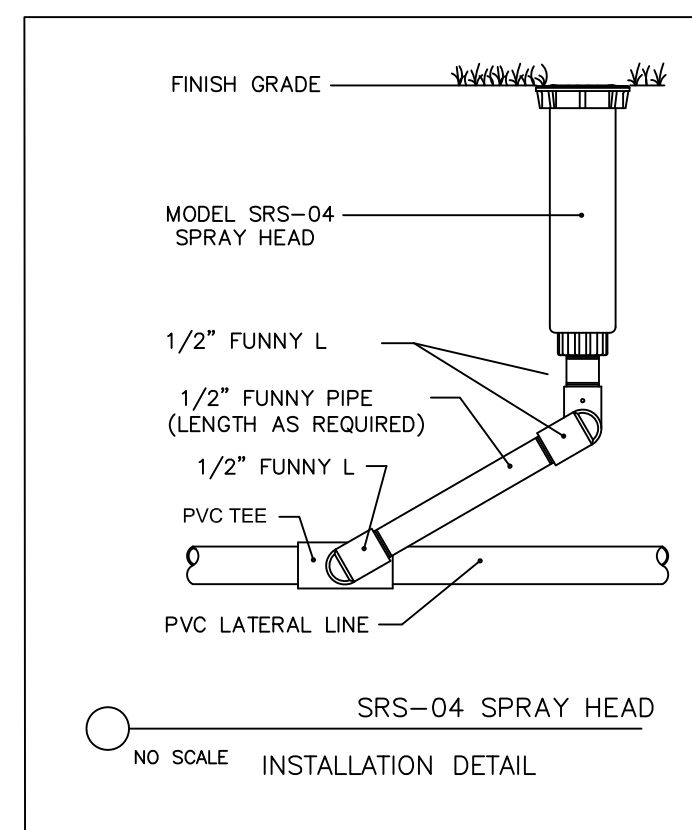
**BUILDING E
 PROPOSED
 KLA SCHOOLS
 NET: 9,916 S.F.**



To the extent possible, landscape contractor to provide tree barricades at the drip line of exist. trees within the work area.

SEE CIVIL DRAWINGS FOR PROPOSED DEMO WORK BY OTHERS

NO.	DATE	DESCRIPTION
1	07/21/12	ISSUED TO CITY OF COCONUT CREEK



LAYOUT

LAYOUT IRRIGATION SYSTEM MAINLINES AND LATERAL LINES. MAKE ALL NECESSARY ADJUSTMENTS AS REQUIRED TO TAKE INTO ACCOUNT ALL SITE OBSTRUCTIONS AND LIMITATIONS PRIOR TO EXCAVATING TRENCHES

FLAG ALL SPRINKLER HEAD LOCATIONS. ADJUST LOCATION AND MAKE THE NECESSARY MODIFICATIONS TO NOZZLE TYPES ETC. REQUIRED TO INSURE 100% COVERAGE.

PIPE

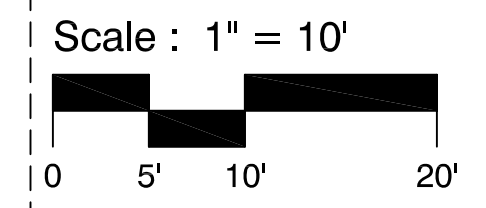
PIPE LOCATIONS SHOWN ON PLAN ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED IN THE FIELD. WHEN LAYING-OUT MAINS AND LATERALS, LOCATE PIPE NEAR EDGES OF PAVEMENT OR AGAINST BUILDINGS WHENEVER POSSIBLE TO ALLOW SPACE FOR PLANT ROOT BALLS. PIPING UNDER HARDSCAPES SUCH AS ROADS, WALKS, AND PATIOS ARE TO BE SLEEVED USING SCH. 40 PIPE.

* SIZE ALL PIPE SO NOT TO EXCEED 5' PER SECOND

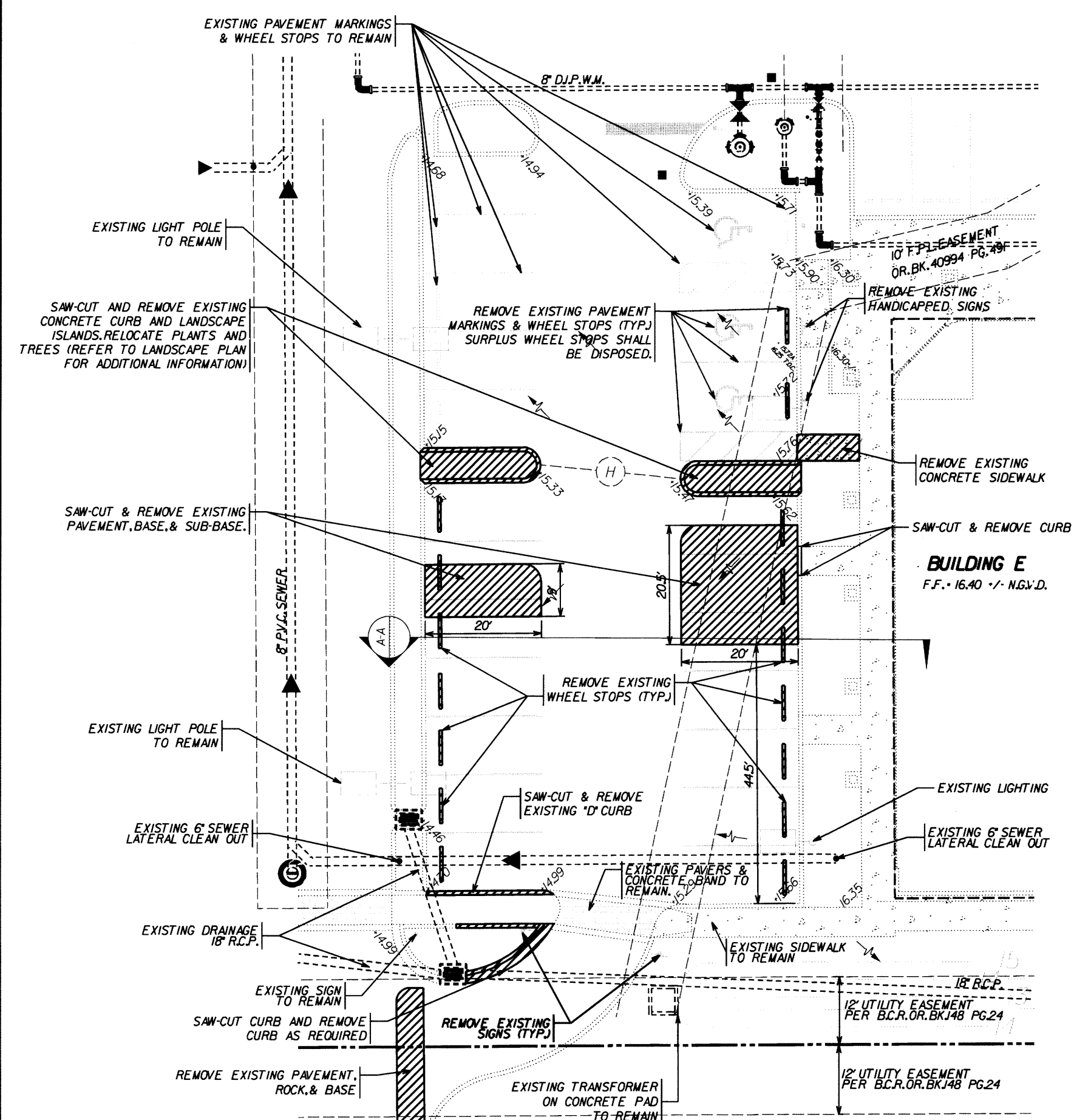
*INSTALL RAIN SENSOR AS PER LOCAL CODE

FLUSHING

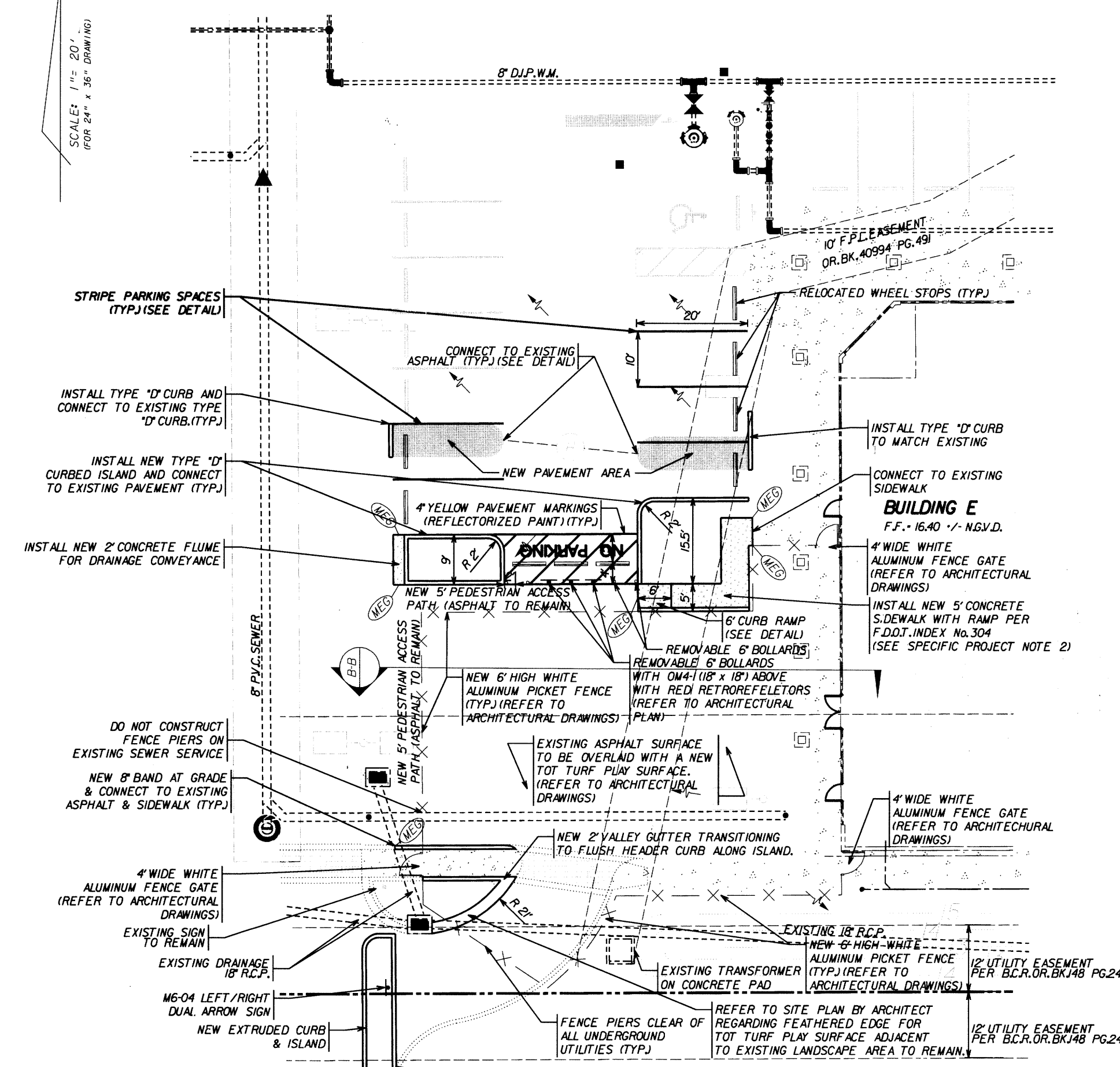
PRIOR TO PLACEMENT OF HEADS FLUSH ALL LINES UNTIL LINES ARE COMPLETELY CLEAN OF DEBRIS.



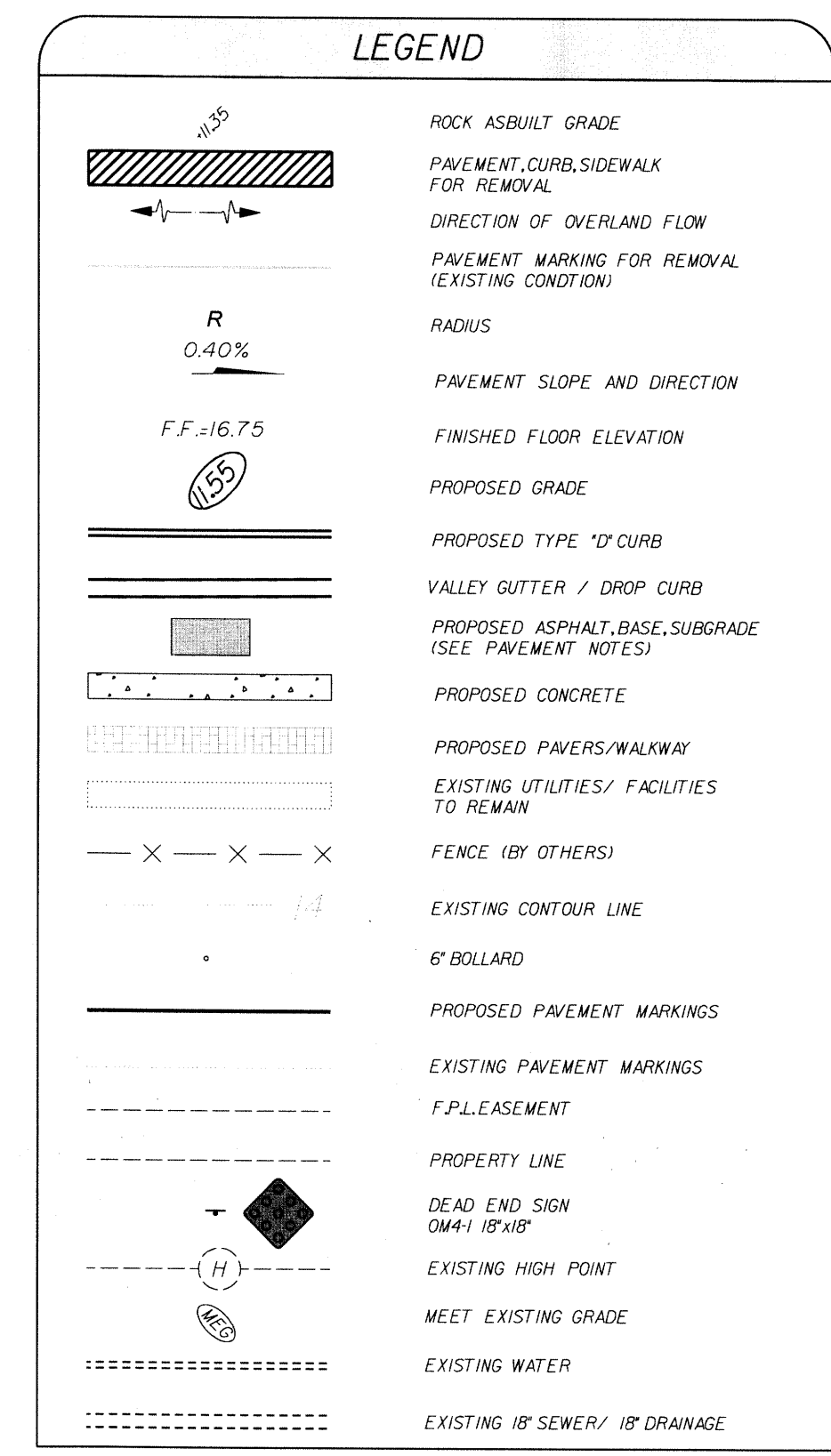
NORTH



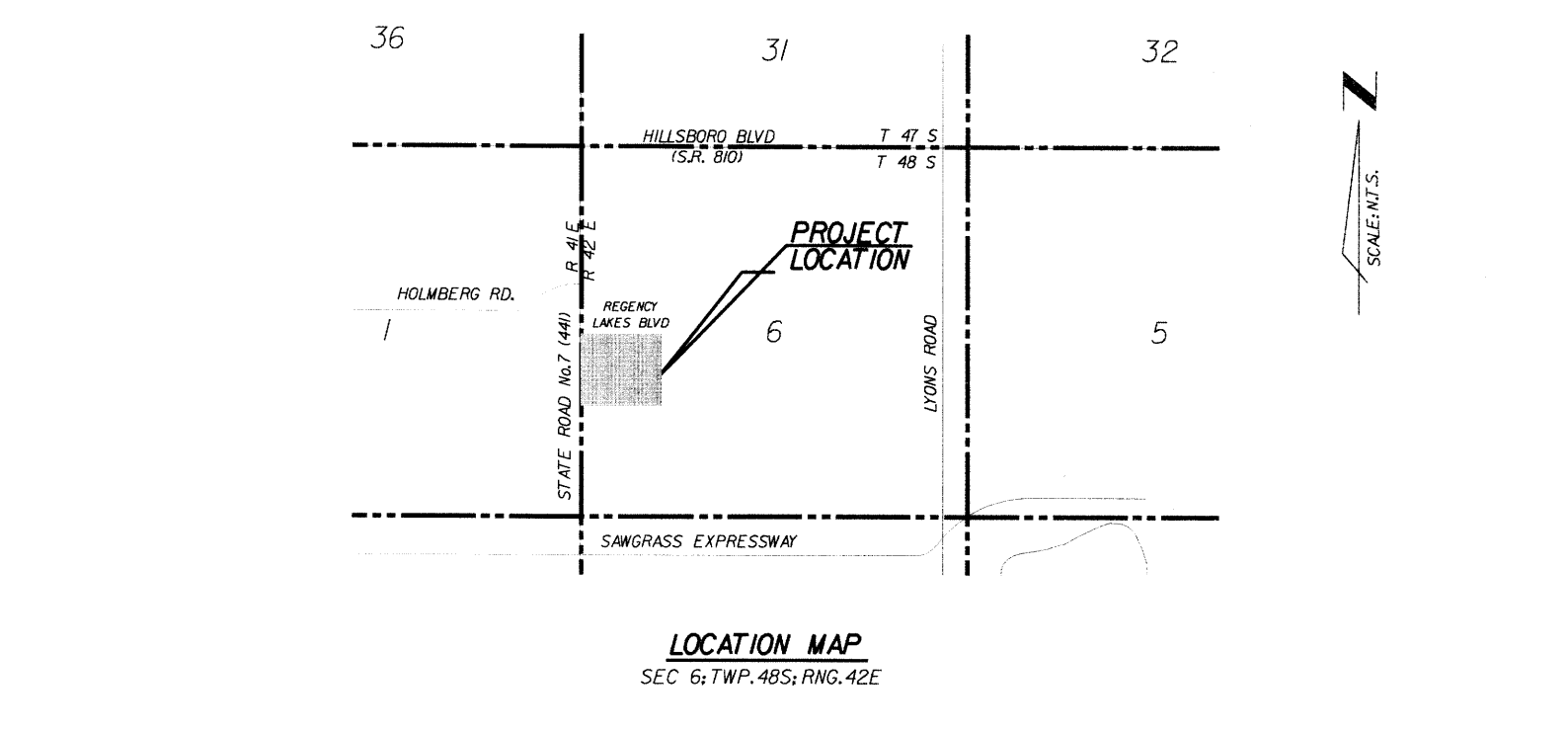
EXISTING CONDITION



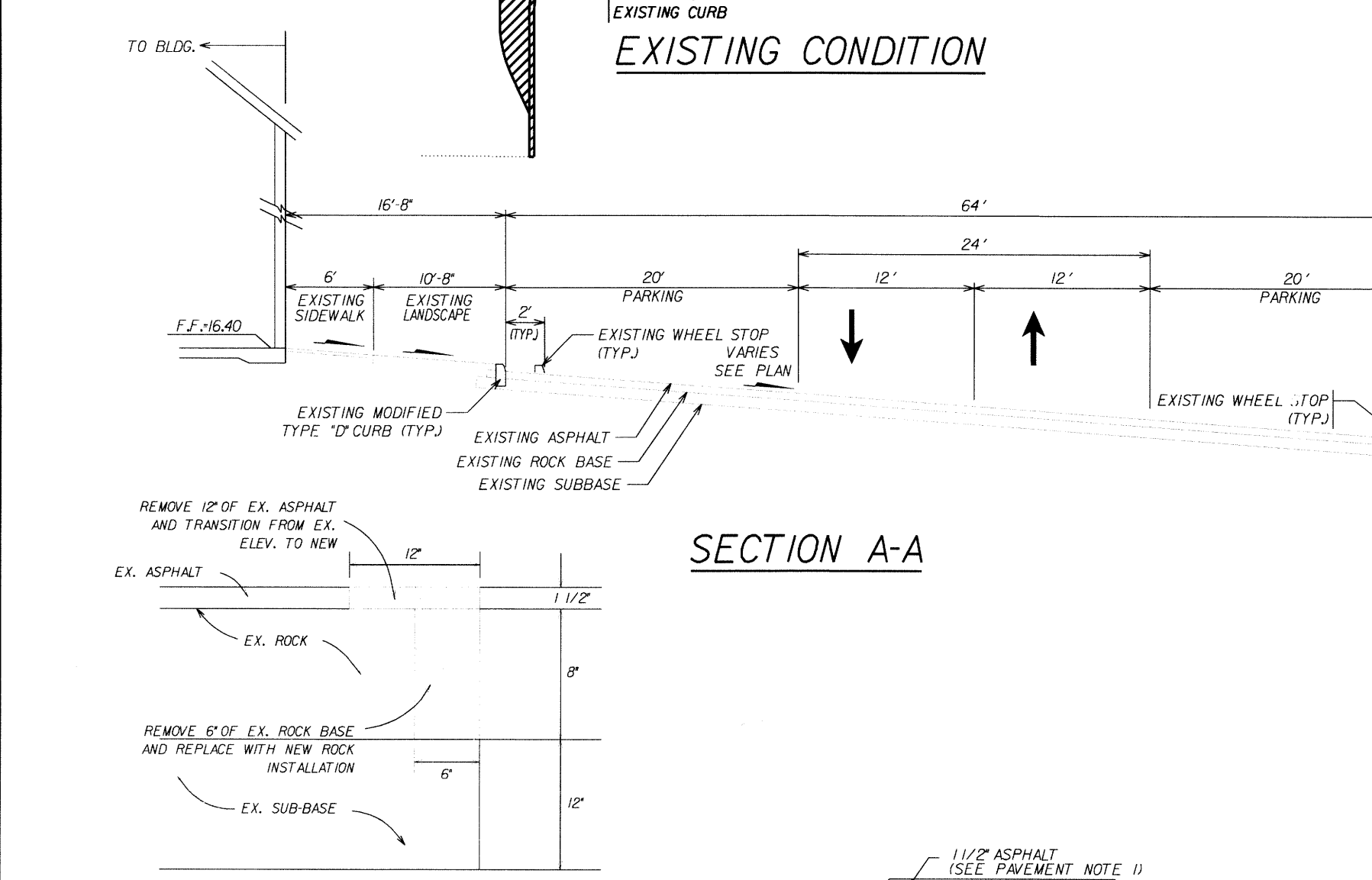
PROPOSED CONDITION



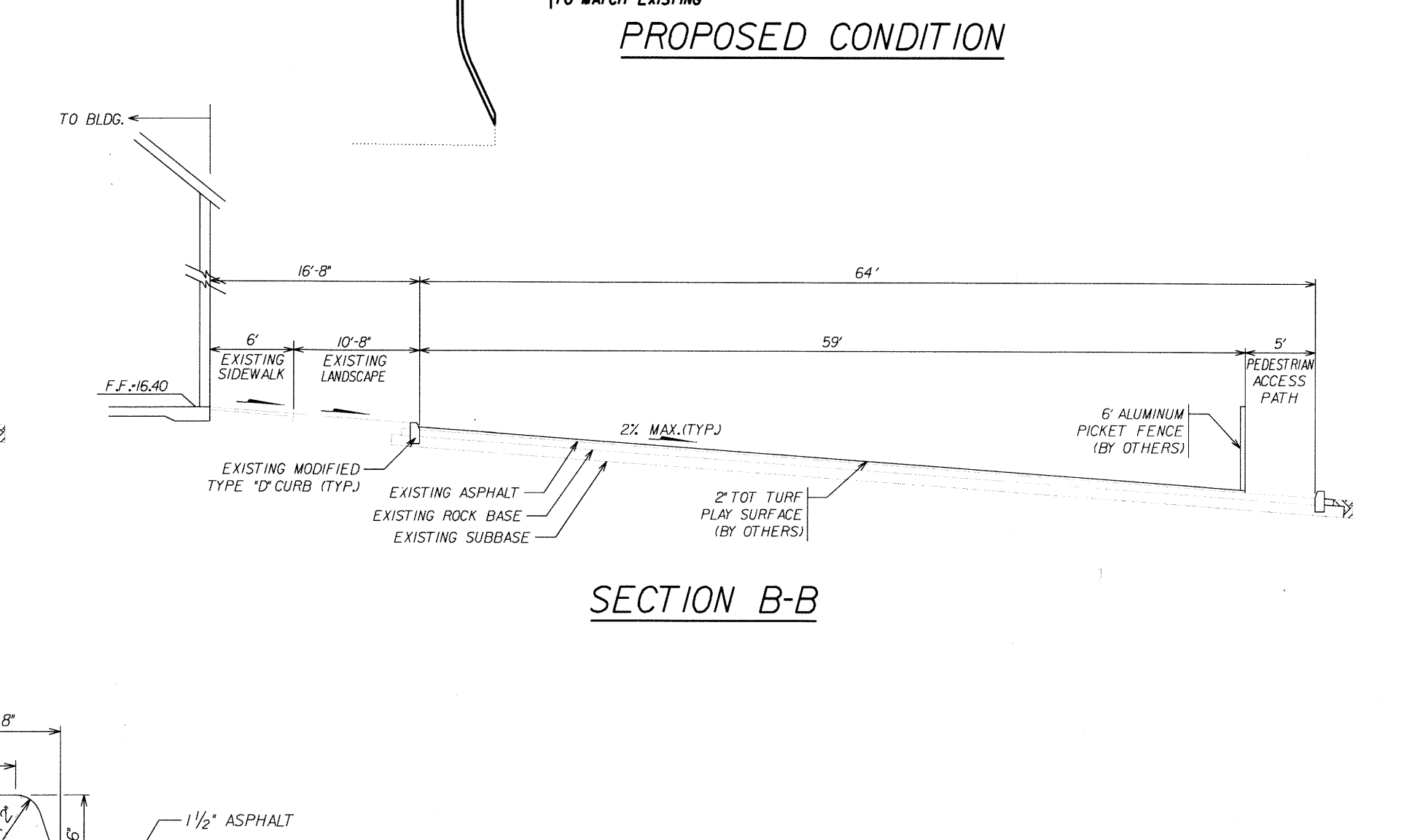
- GENERAL PROJECT NOTES**
- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS & SPECIFICATIONS OF THE CITY OF COCONUT CREEK AND BROWARD COUNTY.
 - PRIOR TO COMMENCING CONSTRUCTION, A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED BETWEEN THE ENGINEER OF RECORD, CONTRACTOR, CITY ENGINEER AND LANDSCAPE INSPECTOR (IF REQUIRED).
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
 - THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
 - 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 TO LOCATE EXISTING UNDERGROUND FACILITIES.
 - THE CONTRACTOR AND/OR HIS SUPERINTENDENT SHALL MAINTAIN A MINIMUM OF ONE COPY EACH OF THE FOLLOWING PUBLICATIONS ON THE JOB SITE DURING CONSTRUCTION OF THIS PROJECT:
 - FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION.
 - FLORIDA DEPARTMENT OF TRANSPORTATION - ROADWAY AND TRAFFIC DESIGN STANDARDS, JANUARY, LATEST REVISION.
 - US DEPARTMENT OF TRANSPORTATION - FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST REVISION.
 - THE CONTRACTOR SHALL SUBMIT A MAINTENANCE OF TRAFFIC PLAN FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION TO CITY.
 - THE CONTRACTOR TO MAINTAIN LOCAL ACCESS AT ALL TIMES.
 - CONTRACTOR SHALL RESTORE ALL EXISTING IRRIGATION SYSTEM COMPONENTS DESTROYED DURING CONSTRUCTION.
 - EXCESS EXCAVATED MATERIAL TO BE PROPERLY DISPOSED/REMOVED FROM SITE.
 - CONTRACTOR SHALL PROVIDE EXTREME CAUTION WHEN PERFORMING ALL WORK AND COORDINATE AS REQUIRED WITH ALL UTILITY COMPANIES IN THE AREA.
 - CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO PROVIDE ALL FIELD SURVEYING AND LAYOUT AS REQUIRED TO CONSTRUCT THIS PROJECT, AS WELL AS OBTAINING CONSTRUCTION AS-BUILT'S VERIFYING CONFORMANCE TO DESIGN PLAN.



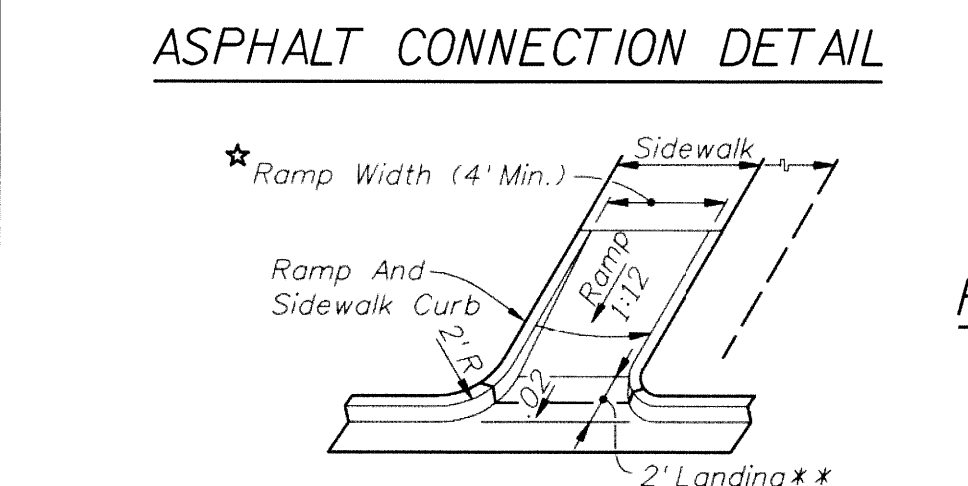
- SPECIFIC PROJECT NOTES:**
- RESTORE, RELOCATE, REPAIR ANY TREES, LANDSCAPING, SPRINKLERS, SIDEWALK, ETC. IN CONFLICT WITH PROPOSED IMPROVEMENTS (TYPICAL).
 - ALL NEW ACCESSIBLE ROUTES AND SIDEWALKS SHALL HAVE A MAXIMUM 1:20 RUNNING SLOPE AND A MAXIMUM 1:48 CROSS SLOPE (TYPICAL) WALKING SURFACE.
 - ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE FLORIDA ACCESSIBILITY CODE (F.A.C.) 2010, AND ITS REFERENCES.
 - DETECTABLE WARNING AT CURB RAMP SHALL BE INSTALLED ONLY IF SUBJECT TO DEPARTMENT OF TRANSPORTATION REGULATION 49 CFR 32.010 IF REQUIRED BY CITY, COMPLYING WITH CHAPTER 7, SECTION 705 OF THE F.A.C.
 - MINOR CHANGES IN NEW SIDEWALK GEOMETRY CAN BE MADE AS LONG AS ITEM 2 CAN BE ACHIEVED.
 - AS-BUILT INFORMATION OBTAINED FROM SPECIFIC PURPOSE SURVEY BY WINNINGHAM & FRADLEY, INC. AND SURVEY PREPARED BY WINNINGHAM & FRADLEY, INC. PROJECT NO. 03042-AS-BUILT-10-22-07.
 - REFER TO LANDSCAPE PLAN FOR ALL LANDSCAPE AND SOD MODIFICATIONS.
 - REFER TO SITE PLAN FOR ADDITIONAL INFORMATION.
 - REFER TO WINNINGHAM & FRADLEY, INC. PROJECT NO. 03042 FOR ADDITIONAL INFORMATION WITHIN REGENCY LAKES VILLAGE CENTER.
- PAVEMENT NOTES:**
- THE WEARING SURFACE SHALL BE 1 1/2" THICK OF TYPE 5-A ASPHALTIC CONCRETE, OVER PRIME COAT AND SAND SEAL.
 - THE BASE COURSE SHALL BE LIME ROCK (70% CALCIUM MIN.) CONSTRUCTED TO 8" THICKNESS AND SHALL HAVE A MINIMUM LBR OF 100. THE BASE MATERIAL SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD. PRIME AND TRACT COAT FOR BASE SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF SECTIONS 300 THROUGH 3007 OF F.D.O.T. STANDARDS SPECIFICATION.
 - ALL ORGANIC AND YIELDING MATERIAL WITHIN THE LIMITS SHOWN SHALL BE REMOVED AND REPLACED WITH CLEAN FILL. THE SUB-BASE SHALL EXTEND 12" BELOW THE BASE COURSE. SHALL HAVE A MINIMUM LBR OF 40 AND SHALL BE COMPACTED TO 100% OF MAXIMUM DRY DENSITY AS PER AASHTO T-99.
- PAVEMENT MARKINGS NOTES:**
- PROVIDE AND INSTALL ALL NECESSARY PAVEMENT MARKINGS AND SIGNS IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL STANDARDS, 2009 EDITION (OR LATEST PUBLISHED VERSION), LATEST BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS, AND THE CITY OF COCONUT CREEK. ALL TRAFFIC SIGNS SHALL BE FULLY REFLECTORIZED. ALL MATERIAL, INSTALLATION, AND LOCATIONS SHALL BE SUBJECT TO REVIEW.
 - ALL PAVEMENT MARKINGS SHALL BE REFLECTORIZED PAINT.
 - ALL RH SIGNS SHALL BE HIGH INTENSITY.



SECTION A-A



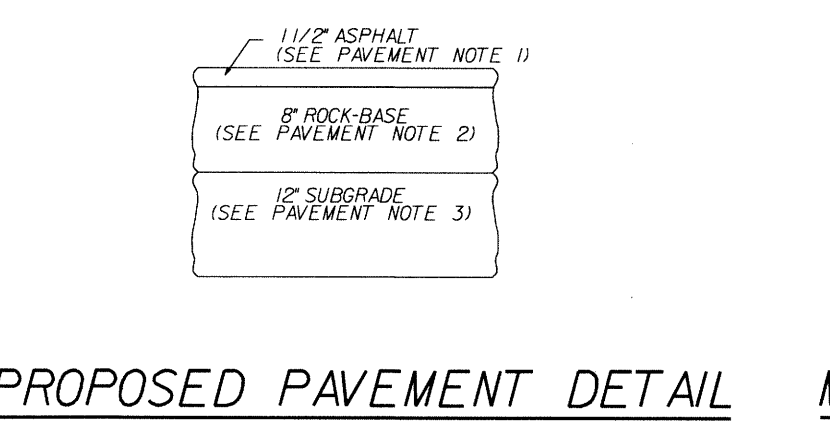
SECTION B-B



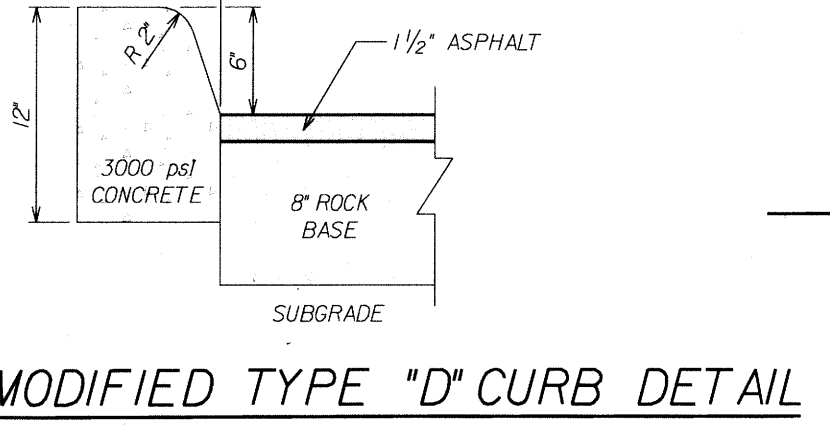
* Ramp Widths For Curb Ramps CR 20, CR 21, CR 22, CR 24, and CR 25 May Be Reduced To 3' Min. in Restricted Conditions When Approved By The Engineer.

** Lower landing not required at driveways, parking lots, or other areas with pavement cross-slopes less than 2% (0.02).

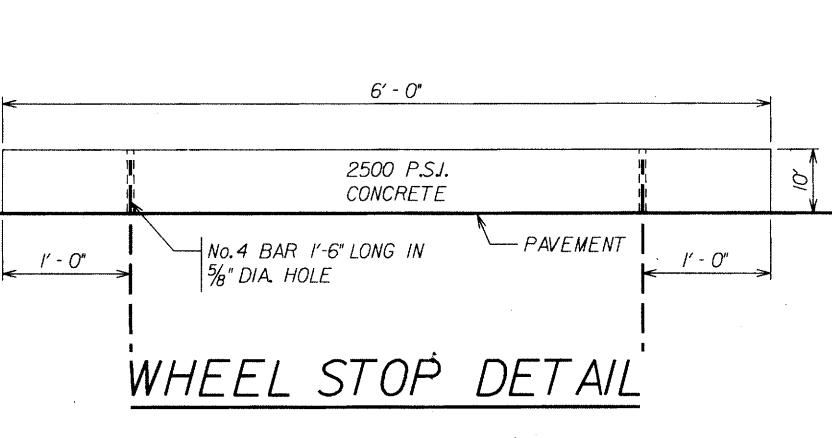
CURB RAMP DETAIL



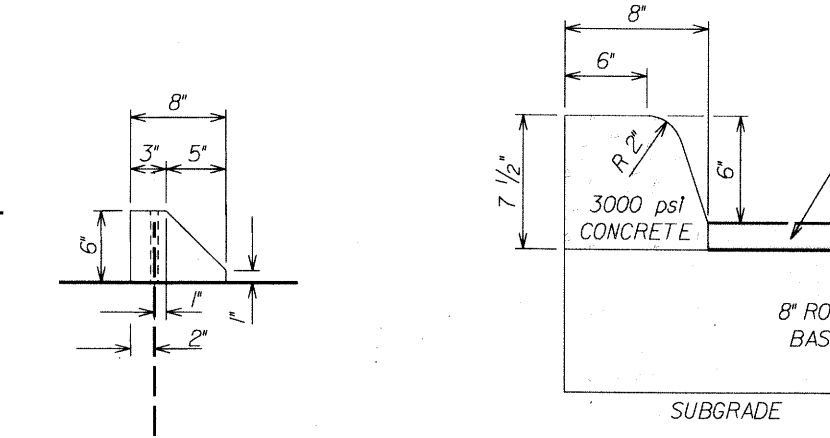
PROPOSED PAVEMENT DETAIL



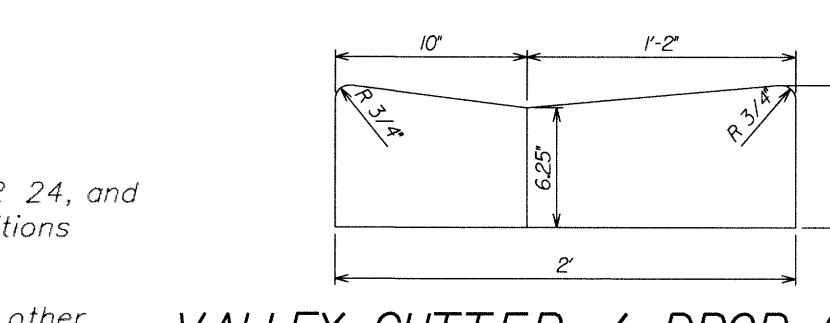
MODIFIED TYPE "D" CURB DETAIL



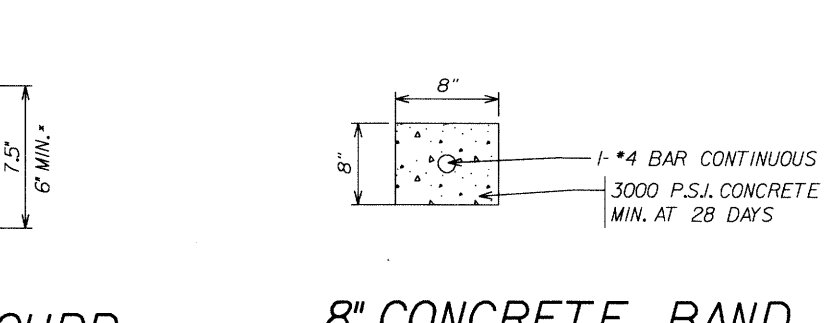
WHEEL STOP DETAIL



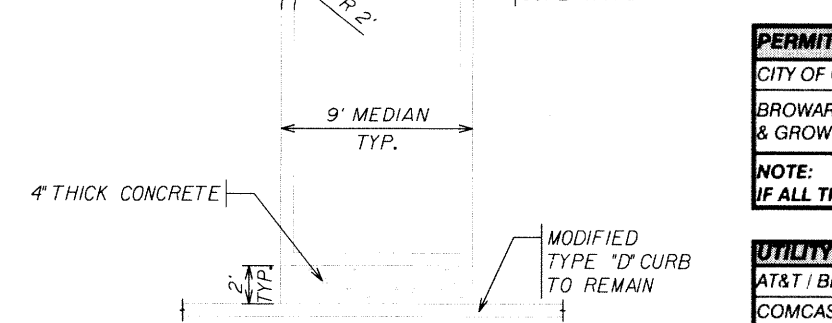
EXTRUDED CURB DETAIL



VALLEY GUTTER / DROP CURB



6" CONCRETE BAND



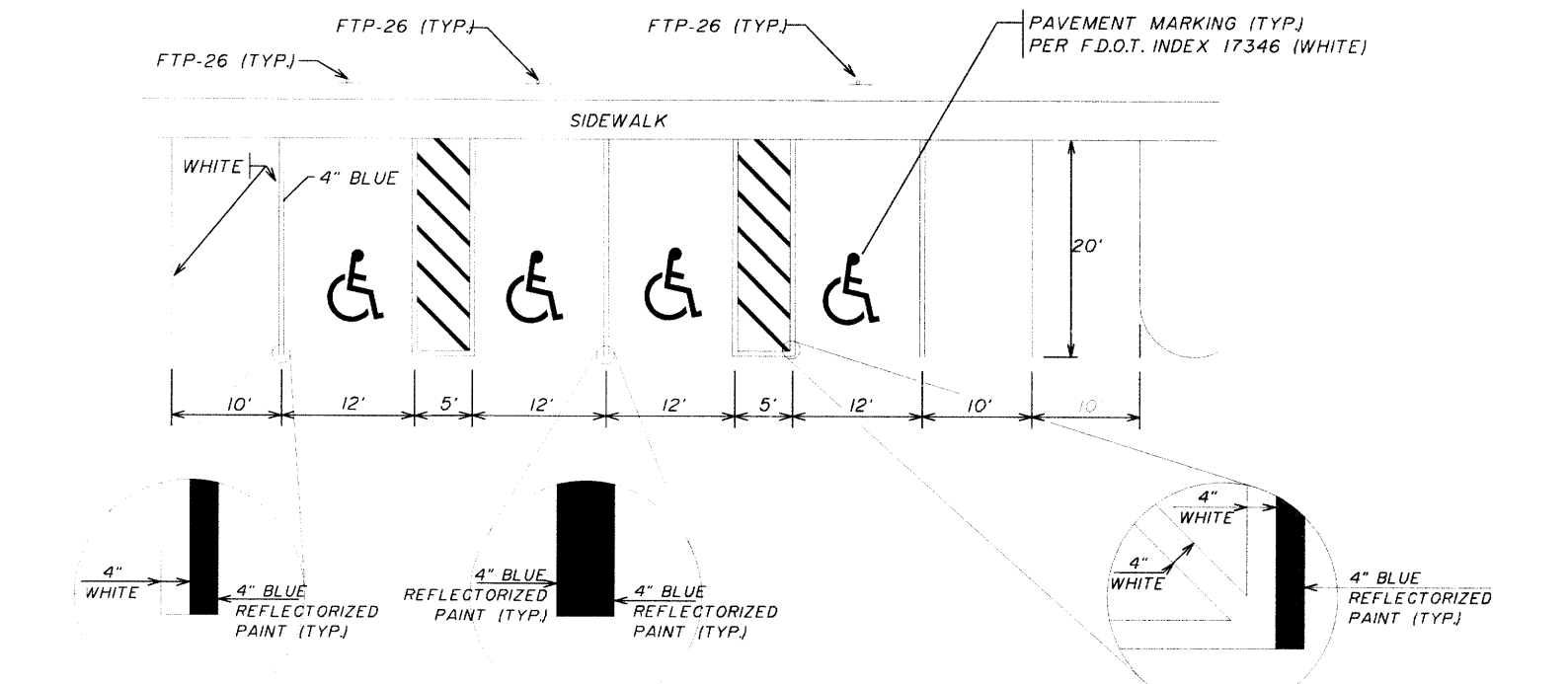
FLUME DETAIL

PERMITTING AGENCIES	SUBMITTED	APPROVED	PERMIT No.	EXPIRES
CITY OF COCONUT CREEK	09/27/12			
BROWARD COUNTY ENVIRONMENTAL PROTECTION & GROWTH MANAGEMENT DEPARTMENT, D.E.R.D.	10/04/12	10/09/12	ERP 0600551-S78	

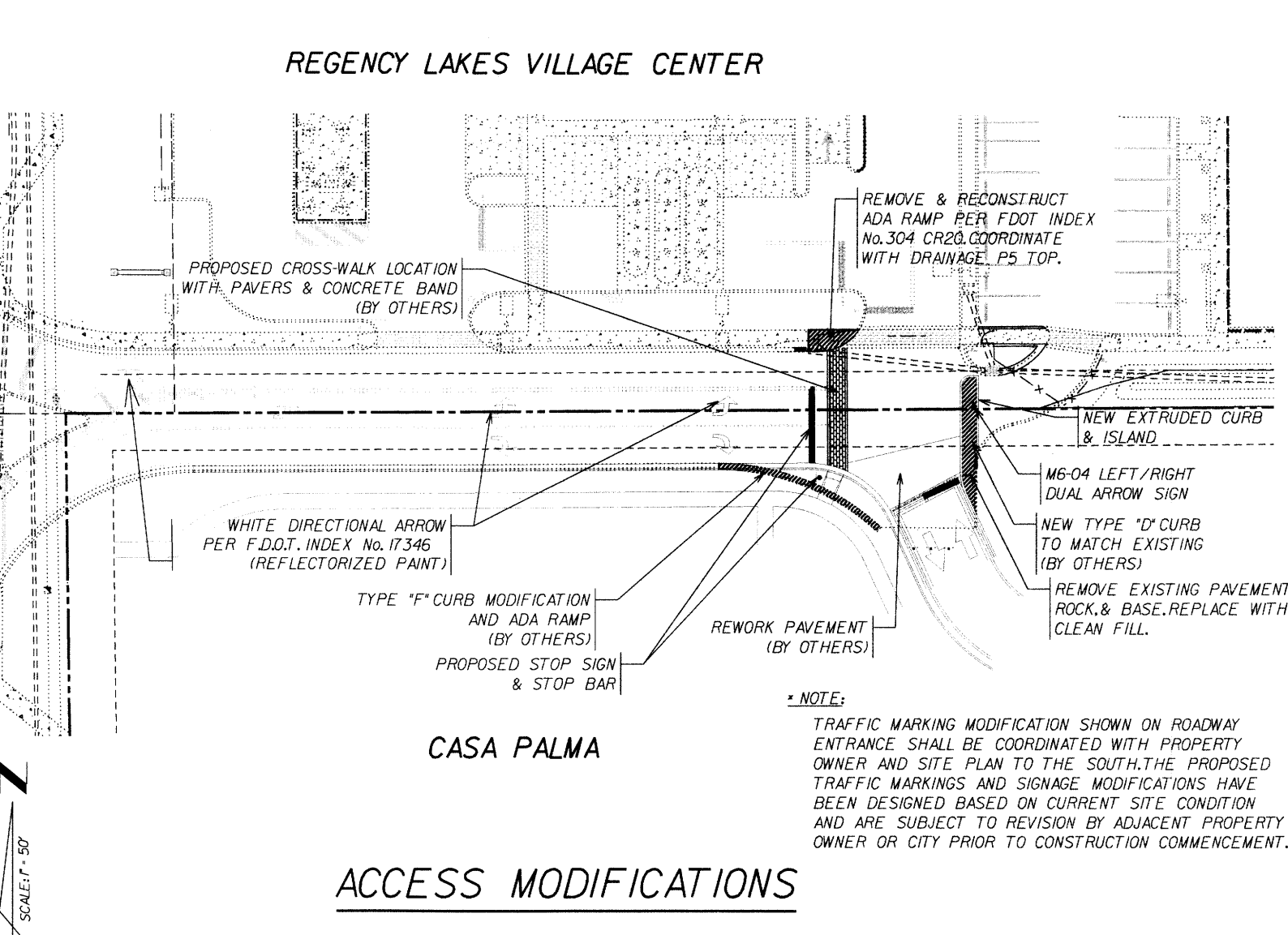
NOTE: IF ALL THE ABOVE INFORMATION HAS NOT BEEN PROVIDED, THIS SET OF DRAWINGS SHOULD NOT BE USED FOR CONSTRUCTION.

UTILITY COMPANIES	SUBMITTED	COMMENTS	DATE
AT&T BELL/SOUTH	10/02/12	NO CONFLICT	10/05/12
COMCAST CABLE	10/03/12		
FLORIDA POWER & LIGHT	10/02/12	SEE LETTER	10/24/12
TUCO PEOPLES GAS	10/03/12	NO CONFLICT	10/03/12

NOTE: IF ALL THE ABOVE INFORMATION HAS NOT BEEN PROVIDED, NO INFORMATION FROM UTILITY COMPANY WAS AVAILABLE.



TYPICAL PARKING STALL DETAIL



ACCESS MODIFICATIONS

NO.	REV.	PER CITY COMMENTS	DATE	NO.	REV.	DATE
1.		REV. PER CITY COMMENTS	11/12			

DESIGNED: WTV/TFM DATE: 09/12
 DRAWN: TPM DATE: 09/12
 CHECKED: WTV DATE: 11/12
 PLOT FILE CREATED: 11/15/2012 9:41:38 AM

WINNINGHAM & FRADLEY, INC.
 ENGINEERS - PLANNERS - SURVEYORS

111 N.E. 44th STREET, OAKLAND PARK, FL 33304 954-771-7380 FAX: 954-771-0298 WWW.WINFRAD.COM

KIDS LEARNING ADVENTURE
 KLA SCHOOLS AT REGENCY LAKES VILLAGE CENTER
 6310 N. STATE ROAD 7, BUILDING "E"
 COCONUT CREEK, FLORIDA 33073

SITE IMPROVEMENTS
 PLAN

APPROVED: EB 0002995
 ALB 0002995
 DATE: 11/15/2012
 PROJECT NUMBER: 12037 SHEET: 511 OF 1
 WERNER T. VAUGHAN FL P.E. 45415
 11/15/2012