

#12002409

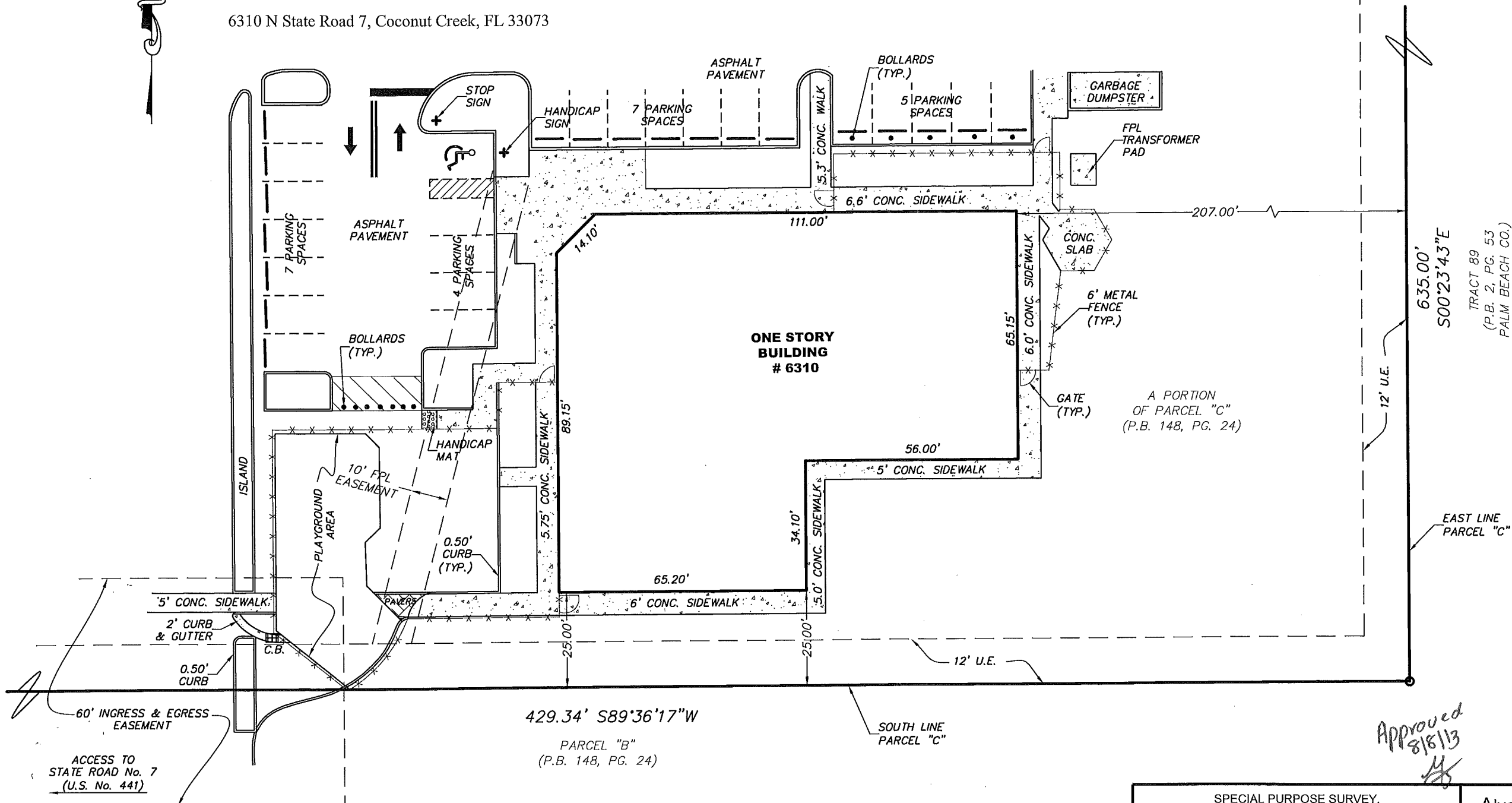
This property described as:  
 A portion of Parcel "C",  
 NORTHWEST PARK OF COMMERCE,  
 according to the Plat thereof  
 as recorded in Plat Book 148, Page 24,  
 of the Public Records of Broward County, Florida.

**CERTIFIED TO:**  
 Regency Lakes KLA

6310 N State Road 7, Coconut Creek, FL 33073

**"THIS SURVEY DECLARATION IS MADE ON THE FIELD  
 DATE INDICATED, TO THE OWNER(S) LISTED. IT IS NOT  
 TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR  
 SUBSEQUENT OWNERS."**

RECEIVED  
 AUG 08 2013  
 CITY OF COCONUT CREEK



g) All roads shown hereon are public unless otherwise noted.  
 h) No identification cap found on property corners unless otherwise noted.  
 i) Distance along boundary are record and measured unless otherwise noted.  
 j) The graphic portions of this document are intended to be displayed at the graphic name scales as depicted.  
 k) Said scale may be altered in reproductions and as such, should be considered when obtaining scaled data.  
 Accuracy: The expected use of land as classified in the minimum technical standards (S17-FAC), is "Suburban". The Minimum relative distance accuracy for the type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.  
 l) Contact the appropriate authorities prior to any design work or excavation on the herein described parcel for building, zoning information and utilities location.

**LEGEND**  
 A = Arc  
 ASPH = Asphalt  
 BM = Bench Mark  
 BRG = Bearing  
 CATV = Catch basin  
 CB = Catch basin  
 CBS = Concrete Block Structure  
 CH = Chord  
 Chatta = Chattahoochee  
 CL = Center Line  
 CLF = Chain Link Fence  
 CL = Clear  
 CONC = Concrete  
 D = Delta  
 Ø = Diameter  
 DH = Drill Hole  
 DME = Drainage & Maintenance Easement  
 E.B. = Electric Box  
 Enc. = Encroachment  
 F.F. = Finish Floor  
 F.H. = Fire Hydrant  
 F.I.R. = Found Iron Rebar  
 FPL = Florida Power & Light  
 F.I.P. = Found Iron Pipe  
 FD. = Found  
 L.P. = Light Pole  
 M = Measured  
 M.F. = Metal Fence  
 M.H. = Manhole  
 M = Monument Line  
 MON. = Monument  
 N/A = Not Applicable  
 N/D = Nail & Disc  
 NTS = Not to Scale  
 O/S = Offset  
 O.U.L. = Overhead Utility Lines  
 OH = Overhang  
 P = Plat  
 PB = Plat Book  
 PC = Point of Curvature  
 P.C.C. = Point of Compound Curvature  
 PCP = Permanent Control Point  
 PG = Page  
 P.I. = Point of Intersection  
 PL = Property Line  
 PL = Planter  
 P.O.B. = Point of Beginning  
 P.O.C. = Point of Commencement  
 P.P. = Power Pole  
 P.R.M. = Permanent Reference Monument  
 P.R.C. = Point of Reverse Curvature  
 PT = Point of Tangency  
 R = Radius  
 R/R = Railroad  
 PSM = Professional Surveyor Mapper  
 RW = Right-of-Way  
 SWK = Sidewalk  
 Sec. = Section  
 (TYP) = Typical  
 T = Tangent  
 U.E. = Utility Easement  
 W.F. = Wood Fence  
 W.M. = Water Meter  
 W.V. = Water Valve  
 X/X = Denotes Spot Elevations Taken

NOTE:  
 a) All clearances and/or encroachments shown hereon are of the apparent physical use, fence legal ownership not determined.  
 b) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.  
 c) Code restrictions and title search not reflected in this survey  
 d) Underground utilities, improvements, footings and encroachments, if any not located.  
 e) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or damage and does not create liability on the part of the firm or employee thereof, for any damage that occurs from reliance on said information.  
 f) Land depicted hereon were surveyed per legal description provided by client and no claims as to ownership or matters of title are made or implied.

Bearing, if any, shown based on Plat Meridian (reference) SOUTH  $\angle$  S89°36'17"W

REVISIONS: 07/24/13 INFORMATION ADDED 08/07/13 INFORMATION ADDED	FLOOD ZONE X	COMM. No. 120031	PANEL No. 0105	SUFFIX: F	ELEVATION NOTE: (IF APPLICABLE) L.F.Elev.= <u>N/A</u> (lowest habitable floor elevation). Elevation shown hereon refer to N.G.V.D. 1929. Lowest adjacent grade elevation= <u>N/A</u> . BM. <u>N/A</u> Elev.= <u>N/A</u> Garage Elev.= <u>N/A</u> Erp.= <u>N/A</u>	Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper.
	F.I.R.M.DATE 08/18/92	F.I.R.M.INDEX 10/02/97	BASE ELEV. + N/A	N.G.V.D.		

SPECIAL PURPOSE SURVEY.  
 I HEREBY CERTIFY: that this survey meets the minimum technical standards as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.  
 RENE AIGUESVIVES 07/17/13  
 PROFESSIONAL SURVEYOR AND MAPPER No. 4327. State of Florida.

Alvarez, Aiguesvives and Associates, Inc.  
 Surveyors, Mappers and Land Planners  
 5701 S.W. 107th Avenue #204, Miami, FL 33173  
 Phone 305.220.2424 Fax 305.552.8181  
 L.B. No. 6867 / E-mail: aaasurvey@aol.com

Field Date 07/11/13	Scale: 1"= 30'	Drawn by: S.I.	Drwg. No. 13-16166
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Approved  
 8/18/13  
 [Signature]