

McDonald's USA, LLC

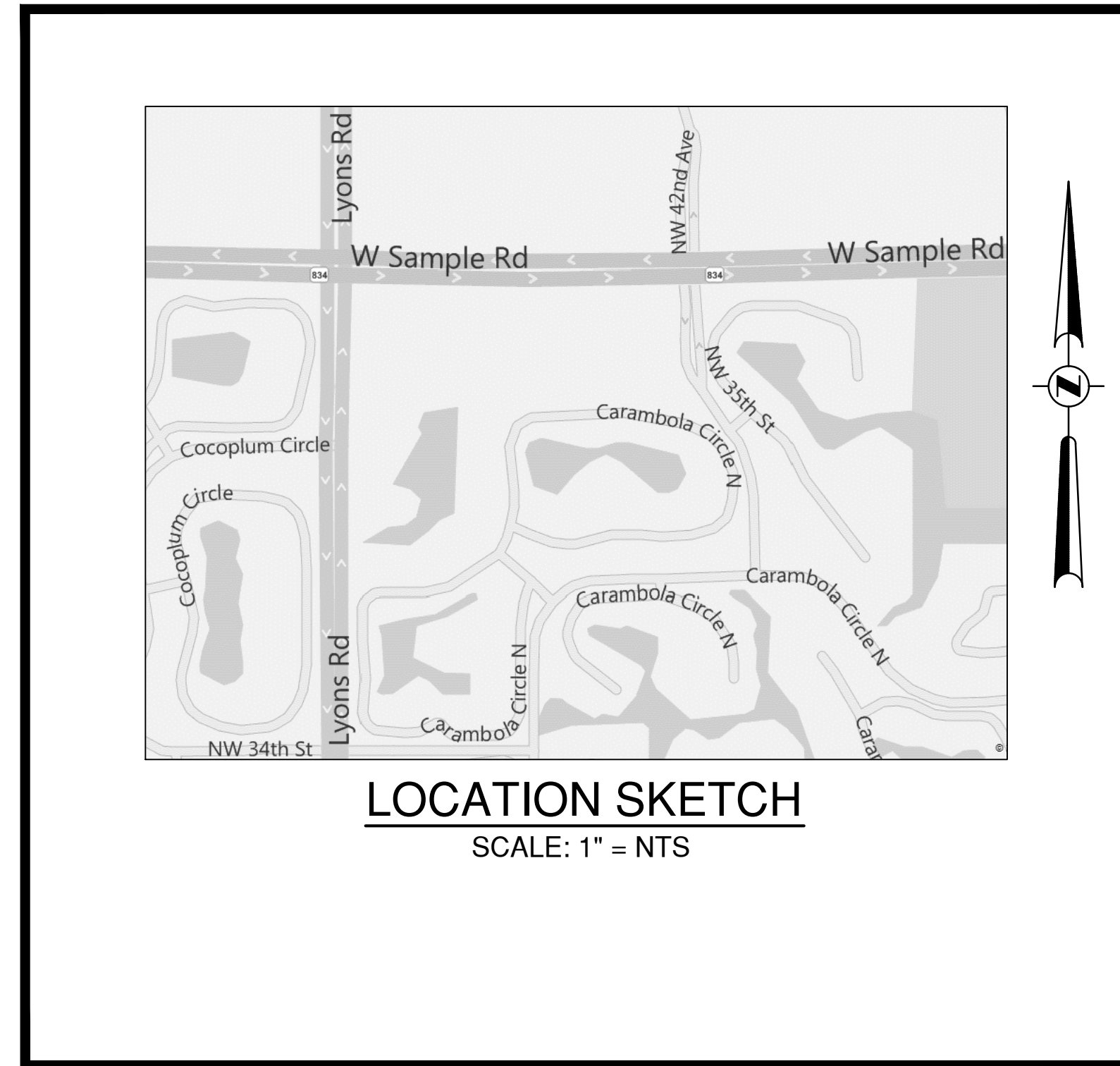
4200 WEST SAMPLE ROAD
COCONUT CREEK, FLORIDA

LEGAL DESCRIPTION:

Being a portion of Tract C-2, TARTAN COCONUT CREEK PHASE II, according to the Plat thereof as recorded in Plat Book 109 at Page 12 of the Public Records of Broward County, Florida.

Commence at the Northeast corner of said Tract C-2, said corner lying on the Southerly right-of-way line of Sample Road; thence South 88°30'36" West along said Southerly right-of-way line also being the North line of said Tract C-2 for 90.00 feet; thence South 01°29'24" East for 25.00 feet to the Point of Beginning of the hereinafter described parcel of land; thence North 88°30'36" East along a line parallel with and 25.00 feet South of said Southerly right-of-way line of Sample Road for 79.64 feet; thence South 46°29'24" East along a line parallel with and 25.00 feet Southwesterly of the Northeast line of said Tract C-2 for 28.79 feet; thence South 01°29'24" East along a line parallel with and 25.00 feet West of the Westerly right-of-way line of NW 42nd Avenue and its projection thereof said Westerly right-of-way line also being the Easterly line of said Tract C-2 for 129.64 feet; thence South 88°30'36" West for 100.00 feet; thence North 01°29'24" West for 150.00 feet to the Point of Beginning.

All lying and being in Section 20, Township 48 South, Range 42 East, City of Coconut Creek, Broward County, Florida.



INDEX OF CIVIL DRAWINGS

- CS COVER SHEET
- C-1 SITE PLAN
- C-2 SITE DETAILS PLAN

NOTE TO CONTRACTOR:

CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE ADA REPORT DEVELOPED BY ADA COMPLIANCE. CONTRACTOR SHALL IMPLEMENT ALL REQUIRED WORK UNDER THIS REPORT. FURTHERMORE IF ANY ASPECT CAN NOT BE PERFORMED OR IF ANY ADDITIONAL EXISTING SITE ADA COMPONENT DOES NOT COMPLY WITH ADA STANDARDS CONTRACTOR SHALL NOTIFY ENGINEER AND McDONALD'S PROJECT MANAGER FOR DIRECTION.

PROJECT OWNER

MCDONALD'S CORPORATION
10150 HIGHLAND MANOR DRIVE
SUITE 470
TAMPA, FLORIDA 33160
(813) 630-9634

SURVEYOR

FORTIN, LEAVY, SKILES, INC
180 NORTHEAST 168 STREET
NORTH MIAMI BEACH, FLORIDA 33162
(305) 653-4493

ARCHITECT

HARTLEY & PURDY ARCHITECTURE, INC
1711 NORTH HIMES AVENUE
TAMPA, FLORIDA 33607
(813) 353-0035

CIVIL ENGINEER

ZAMORA & ASSOCIATES, INC
11410 N. KENDALL DRIVE
SUITE 302
MIAMI, FLORIDA 33176
(305) 273-7801

LANDSCAPE ARCHITECT

BRUCE E. CUMMINGS, P.A.
235 COMMERCIALBOULEVARD
SUITE 207
LAUDERDALE BY THE SEA, FLORIDA 33308
(954) 771-8184

PLANNER

CORPORATE PROPERTY SERVICES
1239 E. NEWPORT CENTER DRIVE
SUITE 113
DEEFIELD BEACH, FLORIDA 33442
(954) 426-5144

PROJECT OWNER

MCDONALD'S CORPORATION
10150 HIGHLAND MANOR DRIVE
SUITE 470
TAMPA, FLORIDA 33160
(813) 630-9634

JERRY ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA
PROJECT No. 2011-3-
DATE: 06/7/2011

ZAMORA & ASSOCIATES, INC.
ENGINEERING LAND PLANNING
11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801 FAX (305) 273-9514



ADMINISTRATIVE APPROVAL 04-03-14
APPROVED

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
It's fast. It's free. It's the law.
www.callsunshine.com

NO.	DESCRIPTION	REV	DATE	BY	ISSUE/REF
1.	MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.				
2.	BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.				
3.	(3) 1/2" EMPTY CONDUITS TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR.				
4.	BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.				
5.	PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION. G.C. TO PROVIDE AS-BUILT UTILITY PLAN.				
6.	THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR LOCATIONS, SIZES, AND CIRCUITING.				
7.	ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.				
8.	FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.				

PAVING SPECIFICATION

The General Contractor shall provide McDonald's with structurally and cosmetically sound driveway and parking areas according to the following specifications. All sub-base soil, fill and backfill areas shall have a minimum Limerock Bearing Ratio of 40. All base materials and above listed materials shall be compacted to a minimum 98 % modified proctor (AASOT -180). All base materials shall be lime rock and have a minimum compacted thickness of six inches (6) and should meet Florida D.O.T Specs. All asphalt shall be Florida Specification Type S-1. Modified with a minimum "Marshall Field Stability Test" of 1250 lbs. and minimum compacted thickness of one and one half inches (1 1/2"). All testing shall be done by a company approved field engineer. The sub-base shall be tested in (4) locations for bearing value and compaction. The base shall be tested in (4) locations for thickness and compaction. The asphalt shall be tested in (4) locations for thickness stability and type. All the testing for each preceding material must be satisfactory before each successive material is installed. McDonald's shall be notified of the test results of all the tests and re-tests. When a test fails, or when, in the opinion of the McDonald's field engineer and/or Regional Construction Manager, the installation is unsatisfactory, remedial testing and/or remedial corrective measures shall be done in accordance with their directives. All the above testing shall be done at the General Contractor's expense and shall be included in his/her C.S.S.

Note! McDonald's engineer reserves the right to request a compaction test and/or core sample. If tests prove correct, per above specification, tests will be at the expense of McDonald's otherwise G.C. will be charged.

GERARDO ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA

ZAMORA & ASSOCIATES, INC.
ENGINEERING LAND PLANNING
11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801 FAX (305) 273-9514

McDONALD'S
4200 W. SAMPLE ROAD
COCONUT CREEK, FLORIDA

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORP. AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE ADDRESS

TOTAL SPACES		PARCEL IS	SPACES	X	•
BUILDING ONLY		SPACES	X	•	•
		SPACES	X	•	•
		SPACES	X	•	•

UTILITY INFORMATION			
	SIZE	TYPE	LOCATION
SANITARY SEWER			
WATER			
STORM SEWER			
ELECTRIC			
GAS			

SURVEY INFORMATION	
PREPARED BY:	FORTIN, LEAVY & SKILES, INC. 180 NORTHEAST 168 STREET NORTH MIAMI BEACH, FLORIDA 33162 305-653-4493
DATE:	APRIL 8, 2011

LEGEND	
S - SANITARY SEWER	G - GAS
W - WATER	LP: 30
ST - STORM SEWER	EXISTING ELEVATION (76.5)
E - ELECTRIC	PROPOSED ELEVATION (77.0)

PLAN SCALE: 1"=20'

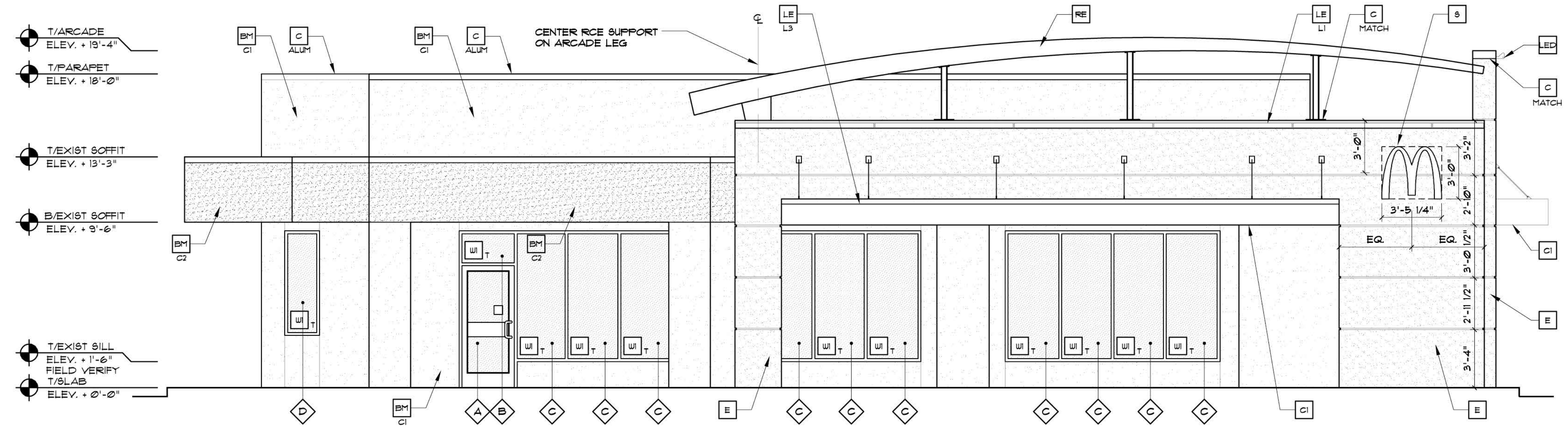
STREET ADDRESS		STATUS	DATE	BY
4200 W. SAMPLE ROAD		PRELIMINARY		
CITY	STATE	PLAN CHECKED		
COCONUT CREEK	FLORIDA	AS-BUILT		
COUNTY				
BROWARD				
REGIONAL DWG. NO	LOCATION CODE NUMBER			
-	009 - 1012			

CS

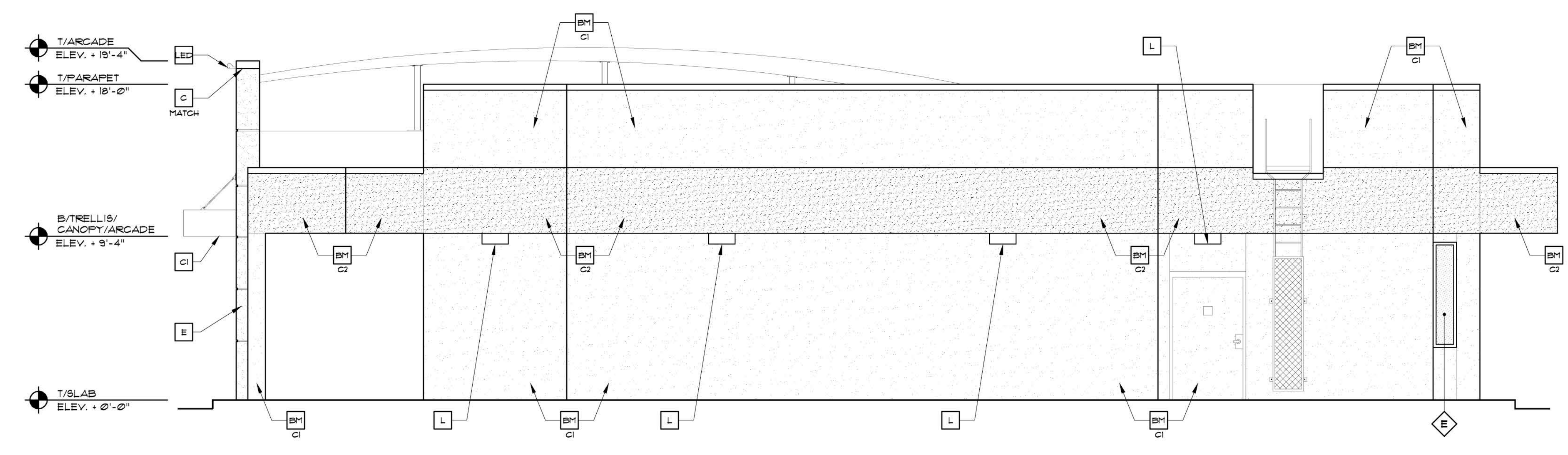
BUILDING DATA	
WIND VELOCITY (mph)	140
IMPORTANCE FACTOR	1.00
BUILDING CATEGORY	II
EXPOSURE CATEGORY	C
INTERNAL PRESSURE COEFFICIENT +/- (ENCLOSED BUILDING)	0.18
MEAN ROOF HEIGHT (ft)	17.92'
BUILDING WIDTH (ft)	60.11'
BUILDING LENGTH (ft)	84.83'
ROOF SLOPE (X : 12)	0

FLORIDA BUILDING CODE - 2007 -
DESIGN PRESSURES FOR OPENINGS

OPENING MARK	OPENING DESCRIPTION	LOCATION ZONE	OPENING ELEVATION	OPENING WIDTH	OPENING HEIGHT	MAX POSITIVE PRESSURE psf	MAX NEGATIVE PRESSURE psf
A	GLASS DOOR	4	3.5	3	7	38.7	-42.1
B	FIXED GLASS	4	8	3	2	40.6	-44.0
C	FIXED GLASS	4	9.25	3	7.5	38.5	-41.9
D	FIXED GLASS	5	6	2	6	40.1	-53.2
E	FIXED GLASS	5	6	1.34	6	40.1	-53.2
F	FIXED GLASS	4	8	6	2	40.1	-43.5
G	FIXED GLASS	5	7.23	4	2	40.6	-54.1
H	SERVICE WINDOW	5	4.67	2	3	40.6	-54.1



1 FRONT / NORTH ELEVATION
1/4" = 1'-0"

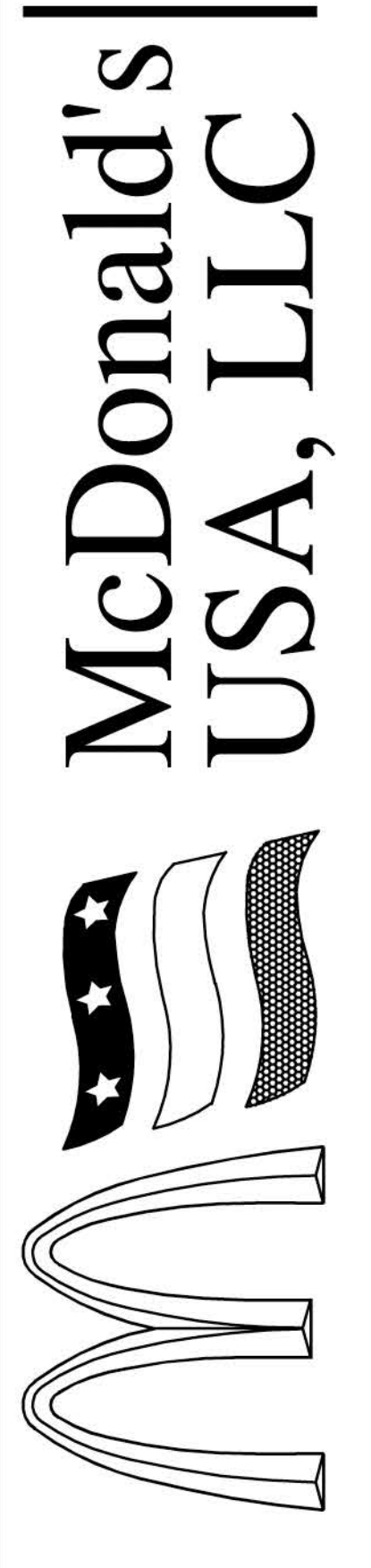


2 REAR / SOUTH ELEVATION
1/4" = 1'-0"

ENTIRE PAGE

<p>KEY NOTES:</p> <p>A METAL FINISH - UNDER SEPARATE PERMIT, COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C</p> <p>BM NEW CEMENTITIOUS FINISH</p> <p>C1 COLOR: SHERWIN WILLIAMS C1 = SOCIABLE 6353 C2 = CHOICE CREAM 6351</p>	<p>C METAL COPING - COLOR = ALUMINUM</p> <p>ALUM METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL</p> <p>C1 NEW ALUMINUM CANOPY 36x16 BY OTHERS (COLOR: YELLOW)</p> <p>C2 NEW ALUMINUM CANOPY TIE-BACK BY OTHERS</p>	<p>C3 NEW ALUMINUM CANOPY 18x16 BY OTHERS (COLOR: YELLOW)</p> <p>CJ CEMENTITIOUS CONTROL JOINT</p> <p>CP CORRUGATED METAL BAND BY METAL ERA - 800-558-2162 - ALUMINUM - 1/8" 18" PANEL 24 GAUGE (COLOR: CITYSCAPE)</p> <p>E CEMENTITIOUS FINISH COLOR = BENJAMIN MOORE 2122-10 SNOW WHITE</p>	<p>EV EXPANSION JOINT</p> <p>L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL</p> <p>LE LED LIGHT: L1 = UP AND DOWN FIXTURE L2 = DOWN ONLY FIXTURE L3 = INTEGRAL CANOPY FIXTURE L4 = UP ONLY FIXTURE</p>	<p>LP LIGHT FIXTURE (PARAPET LIGHT) - SEE ELECTRICAL</p> <p>ML METAL LETTERING - BY OTHERS</p> <p>PB PIPE BOLLARD - PAINTED YELLOW</p> <p>RE 45 FT ROOF ELEMENT & SUPPORT BY OTHERS - SEE ROOF PLAN AND SECTIONS</p>	<p>S McDONALD'S NEXT-GEN SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.</p> <p>T1 ALUMINUM TRELLIS T3 2x8 WALL FASCIA</p> <p>W1 EXTERIOR WINDOW ASSEMBLY - SEE A3.0 T = TEMPERED GLASS</p>	<p>W2 DRIVE-THRU WINDOW BY READY ACCESS CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER. OPTIONS INCLUDE: TRANSOM (SHOWING AIR CURTAIN) FLY/FAN/TRANSOM # 432 EQ IN MAX SERVICE OPENING (WHERE REQ'D BY CODE)</p> <p>SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT</p> <p>W3 AMICO VINYL MID-WALL WEEP SCREED OR APPROVED EQUAL</p>
--	--	---	--	--	--	--

Hartley + Purdy Architecture, Inc.
1711 North Himes Avenue, Tampa, Florida 33607, Ph. 813/533-0035 Fax 813/533-4360 Web Site: www.hartleypurdy.com



SCOTT J. PURDY
AR 91876

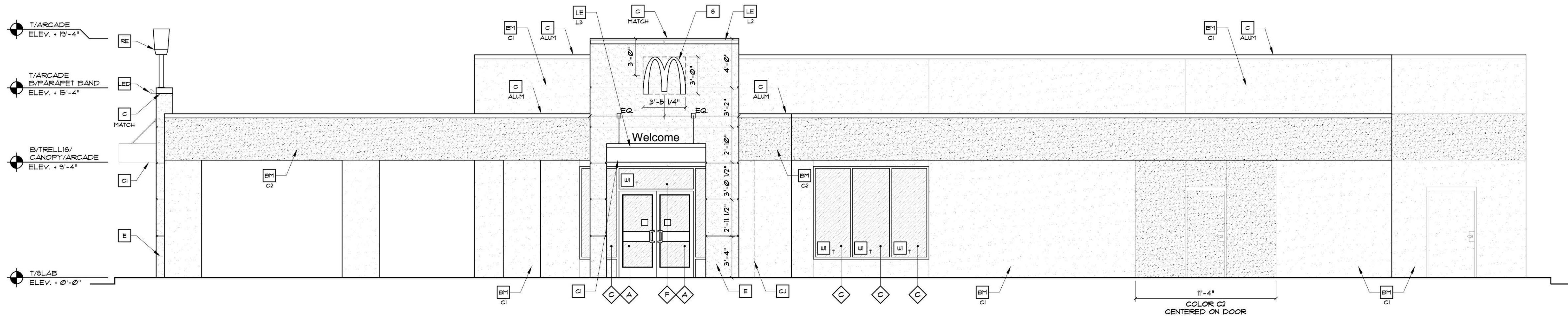
No. 1102.72

TITLE: MRP REMODEL
4200 W. SAMPLE ROAD
COCONUT CREEK, FL
ST/SITE# 009-1012
NAT# 10901
DATE

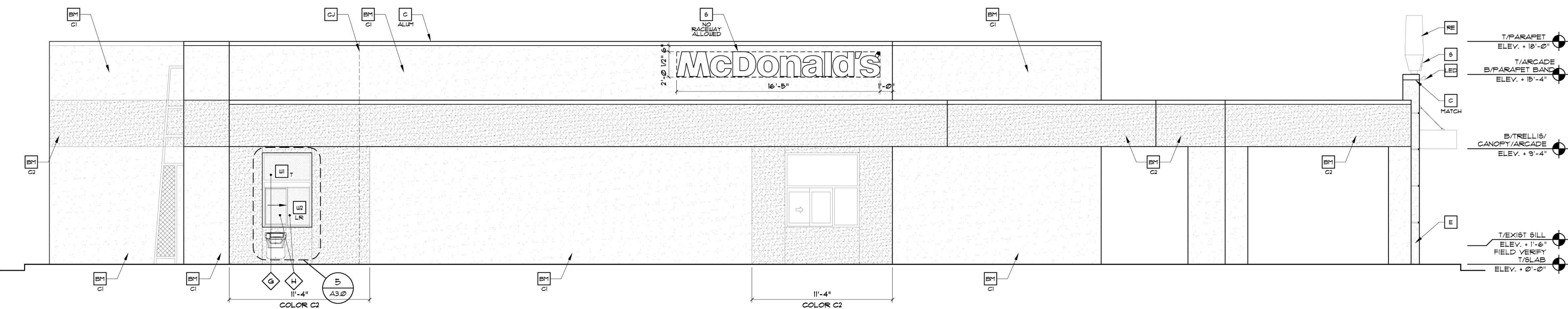
ISSUE 02.01.12
REV# 01.15.14

SHEET NO
A2.0
AA-0003276

ALL RIGHTS RESERVED 9/12



1 SIDE / WEST ELEVATION
1/4" = 1'-0"



2 SIDE / EAST ELEVATION
1/4" = 1'-0"

KEY NOTES:

- | | | | | | | |
|--|---|---|---|--|---|--|
| <p>A METAL AWNING - UNDER SEPARATE PERMIT, COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C</p> <p>BM NEW CEMENTITIOUS FINISH</p> <p>C1 COLOR: SHERWIN WILLIAMS
C1 = SOCIABLE 6353
C2 = CHOICE CREAM 6351</p> | <p>C METAL COPING - COLOR = ALUMINUM</p> <p>C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL</p> <p>C1 NEW ALUMINUM CANOPY 36x16 BY OTHERS (COLOR: YELLOW)</p> <p>C2 NEW ALUMINUM CANOPY TIE-BACK BY OTHERS</p> | <p>C3 NEW ALUMINUM CANOPY 18x16 BY OTHERS (COLOR: YELLOW)</p> <p>CJ CEMENTITIOUS CONTROL JOINT</p> <p>CP CORRUGATED METAL BAND BY METAL ERA - 800-558-2162 - ALUMINUM - 1/8" 19" PANEL 24 GAUGE (COLOR: CITYSCAPE)</p> <p>E CEMENTITIOUS FINISH COLOR = BENJAMIN MOORE 2122-10 SNOW WHITE</p> | <p>EV EXPANSION JOINT</p> <p>L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL</p> <p>LE ACCENT LIGHTING - SEE ELECTRICAL</p> <p>L1 LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = UP ONLY FIXTURE</p> | <p>LP LIGHT FIXTURE (PARAPET LIGHT) - SEE ELECTRICAL</p> <p>ML METAL LETTERING - BY OTHERS</p> <p>PB PIPE BOLLARD - PAINTED YELLOW</p> <p>RE 45 FT ROOF ELEMENT & SUPPORT BY OTHERS - SEE ROOF PLAN AND SECTIONS</p> | <p>S McDONALD'S NEXT-GEN SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.</p> <p>T1 ALUMINUM TRELLIS</p> <p>T3 2x8 WALL FASCIA</p> <p>WT EXTERIOR WINDOW ASSEMBLY - SEE A3.0
T = TEMPERED GLASS</p> | <p>U2 DRIVE-THRU WINDOW BY READY ACCESS CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER. OPTIONS INCLUDE: TRANSOM (SHOWING), AIR CURTAIN, FLYAN/TRANSCM & 432 8Q IN MAX SERVICE OPENING (WHERE REQ'D BY CODE)</p> <p>U3 AMICO VINYL MID-WALL WEEP SCREENED OR APPROVED EQUAL</p> |
|--|---|---|---|--|---|--|

ENTIRE PAGE

SCOTT J. PURDY
AR 91876

No. 1102.72

TITLE: MRP REMODEL
4200 W. SAMPLE ROAD
COCONUT CREEK, FL
ST/SITE# 009-1012
NAT# 10901
DATE

ISSUE 02.01.12
REV 01.15.14

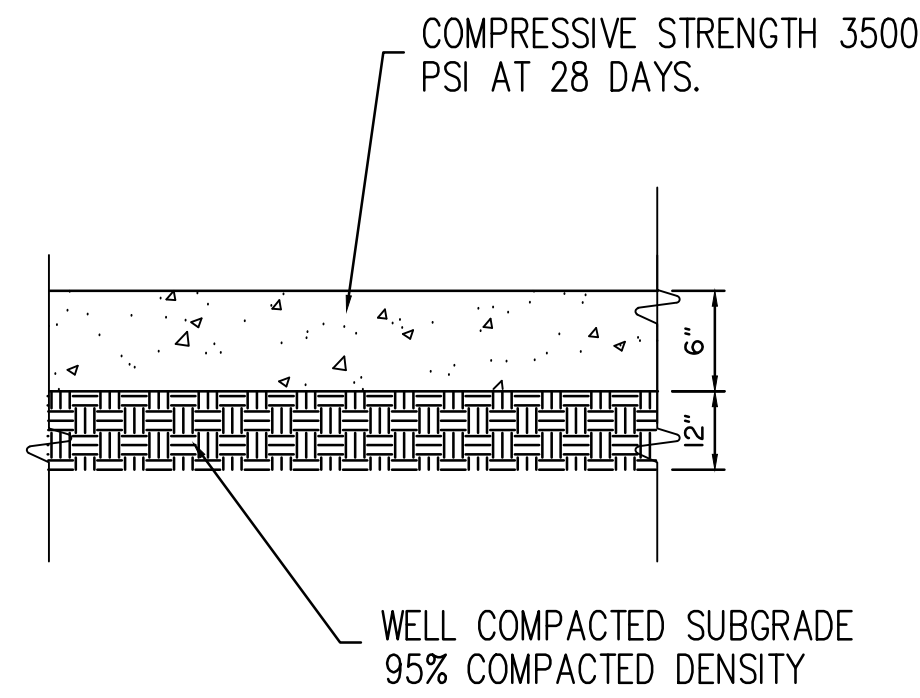
SHEET NO
A2.1
AA-0003276

© COPYRIGHT BY HARTLEY ARCHITECTURE, INC. ALL RIGHTS RESERVED 9/12

Hartley + Purdy Architecture, Inc.
1711 North Himes Avenue, Tampa, Florida 33607, Ph. 813/353-0035 Fax 813/353-4350 Web Site: www.hartleypurdy.com

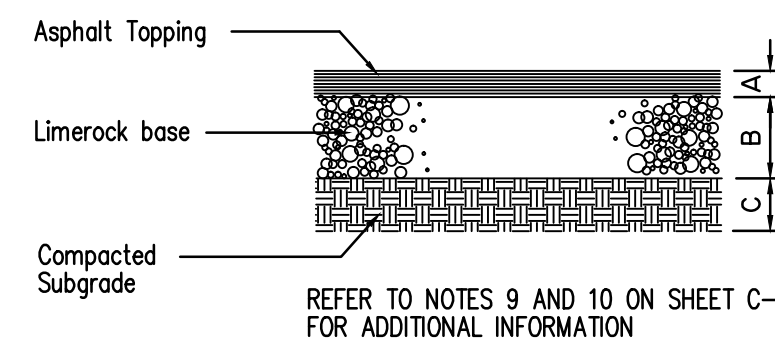


SITE DETAILS PLAN



CONCRETE PAVEMENT DETAIL

IF REQUIRED

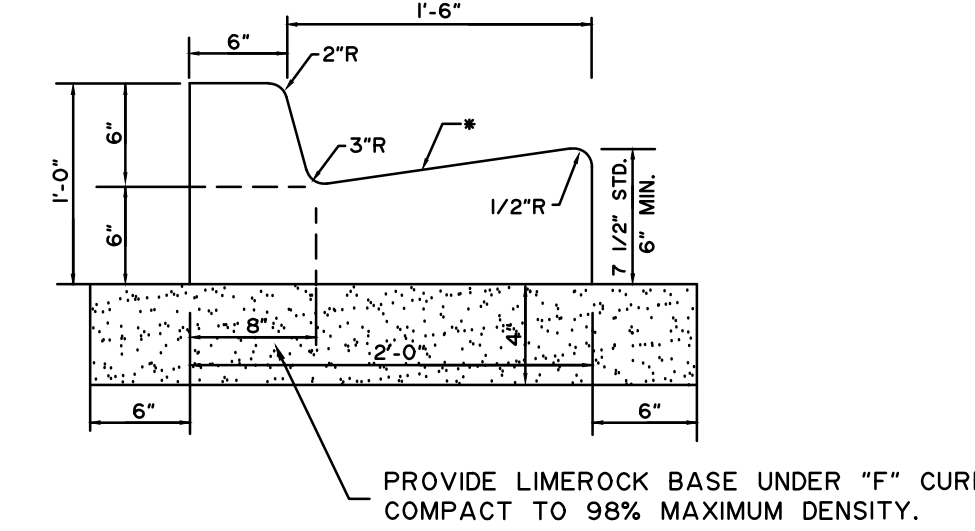


DIMENSION & TYPE

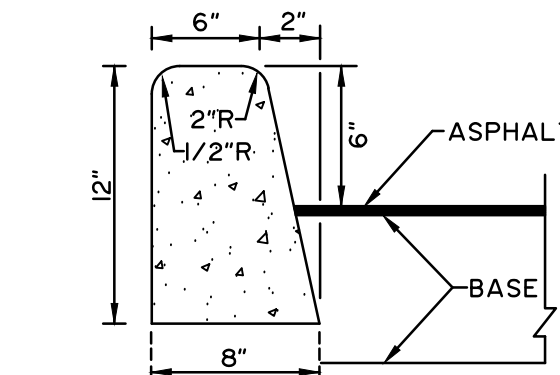
Concrete Section STANDARD	A	B	C
	1.5"	6"	12"

ASPHALT PAVEMENT DETAIL

IF REQUIRED

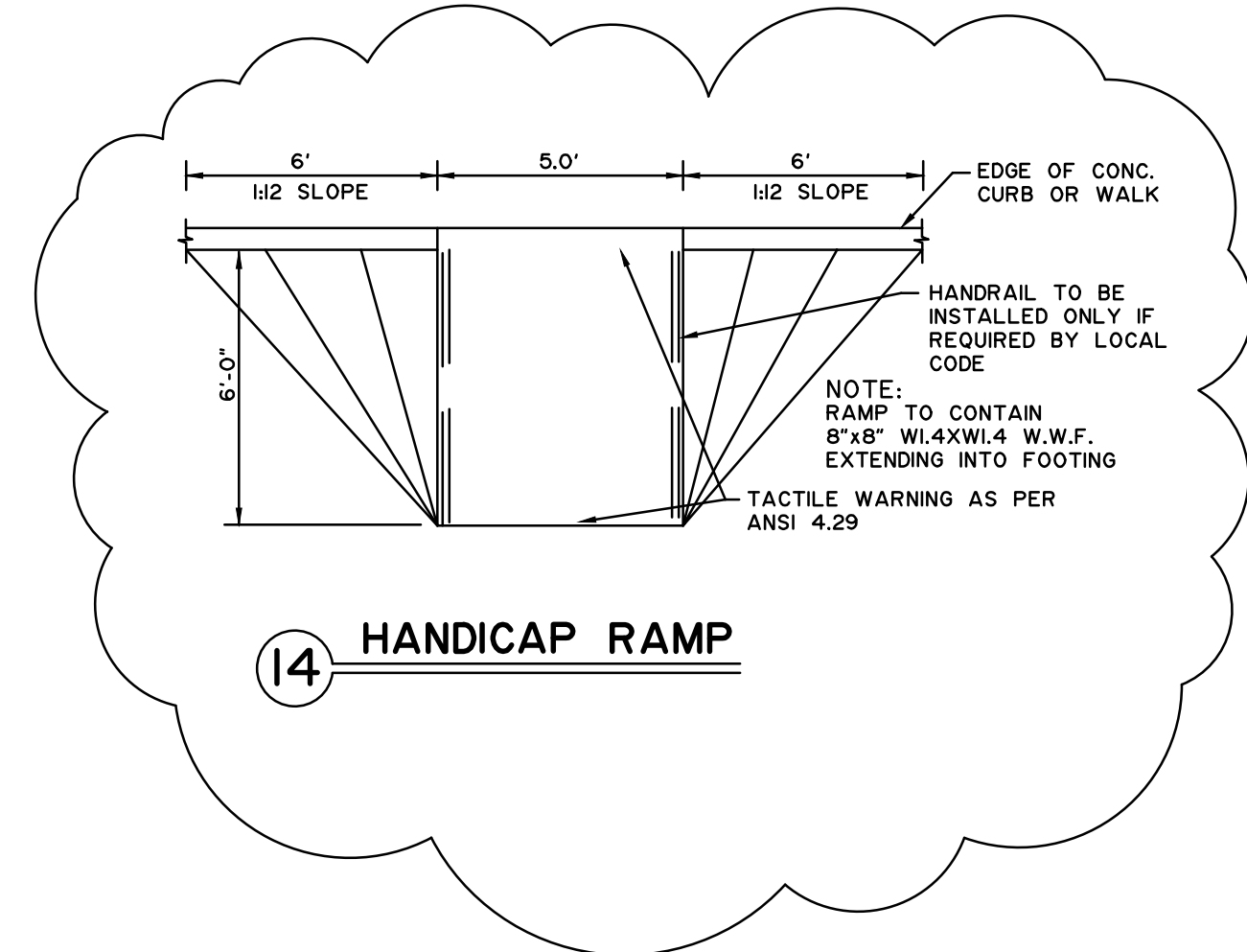


TYPE F CURB
IF REQUIRED

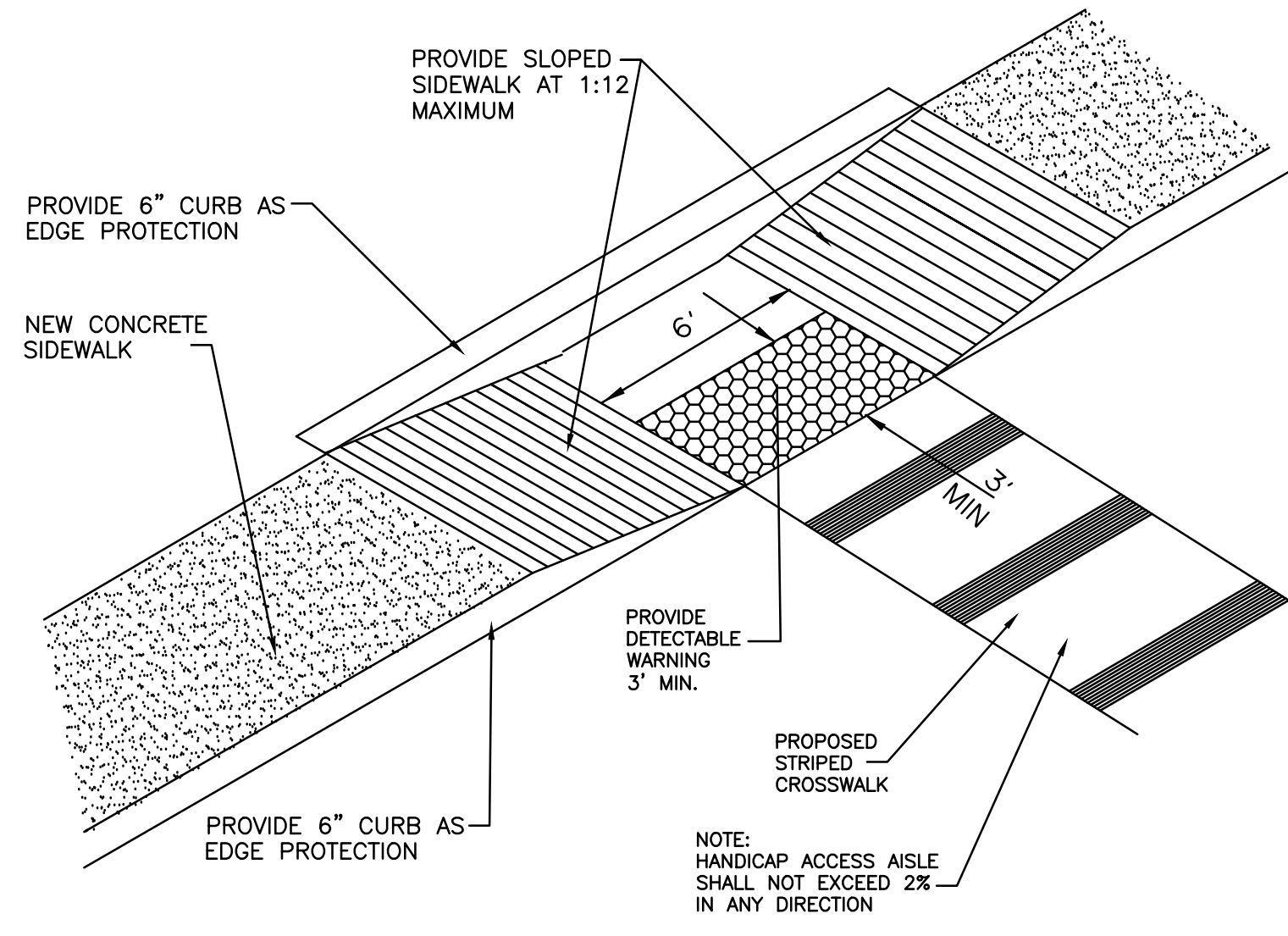


CURB DETAIL

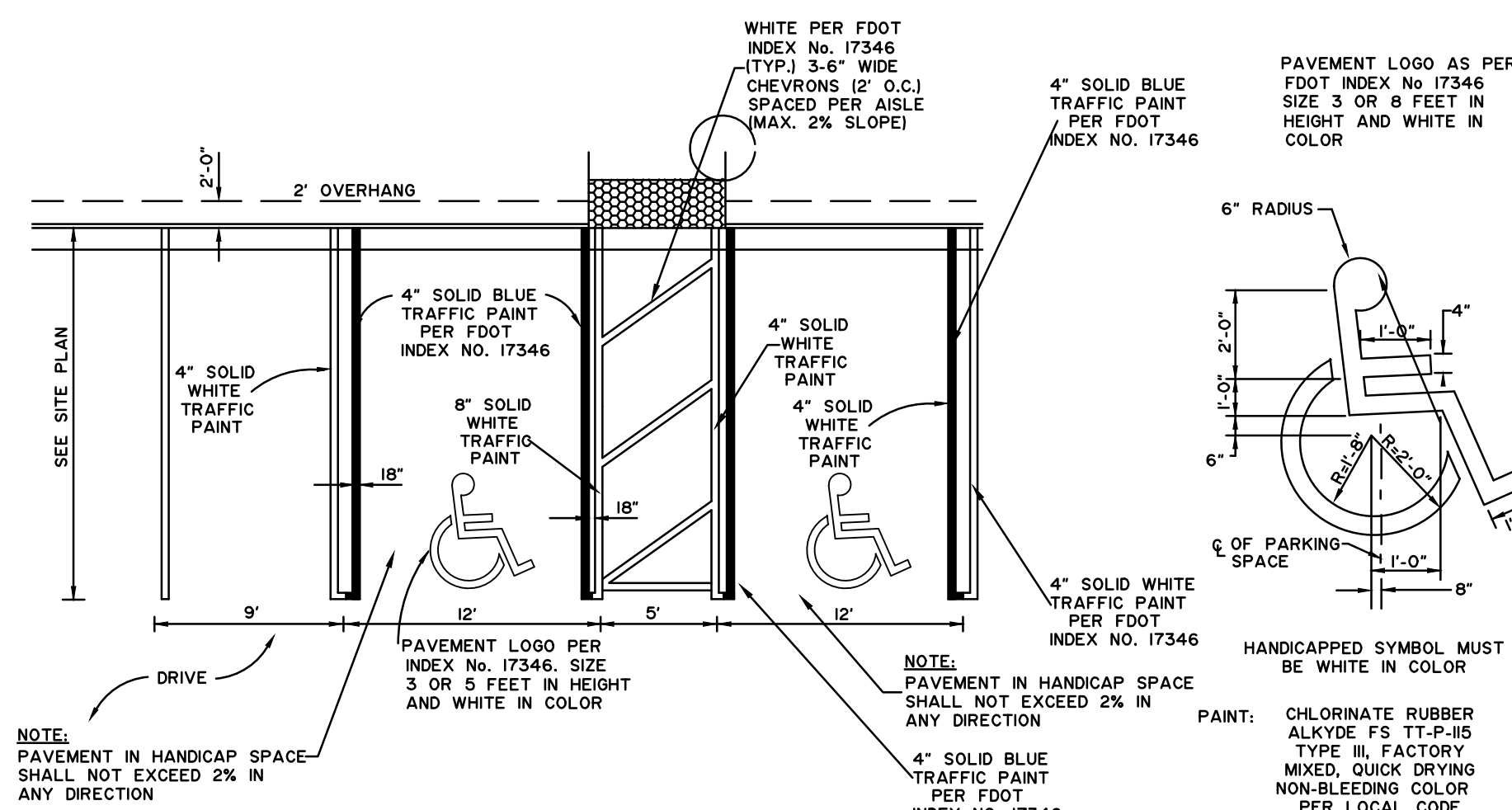
IF REQUIRED



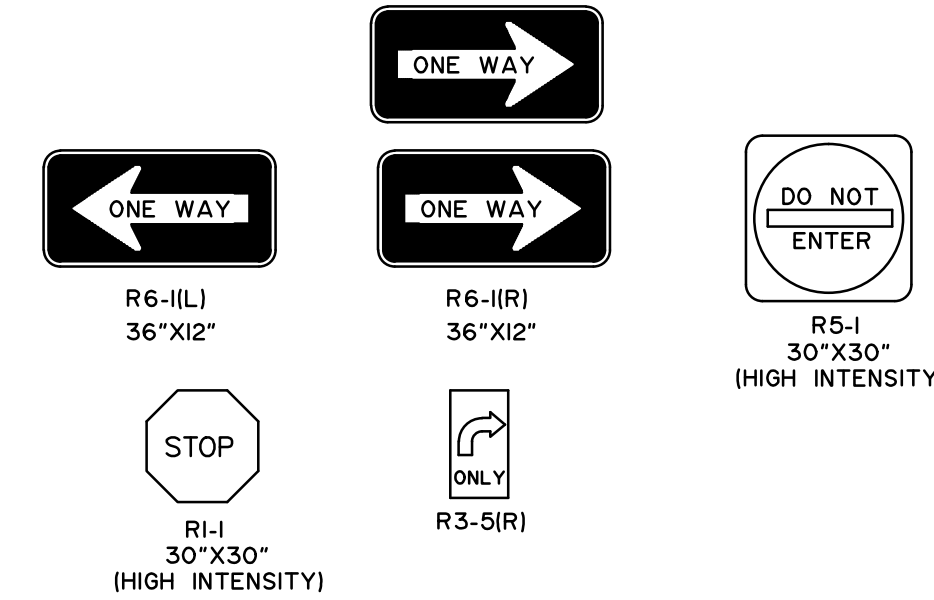
HANDICAP RAMP



HANDICAP RAMP

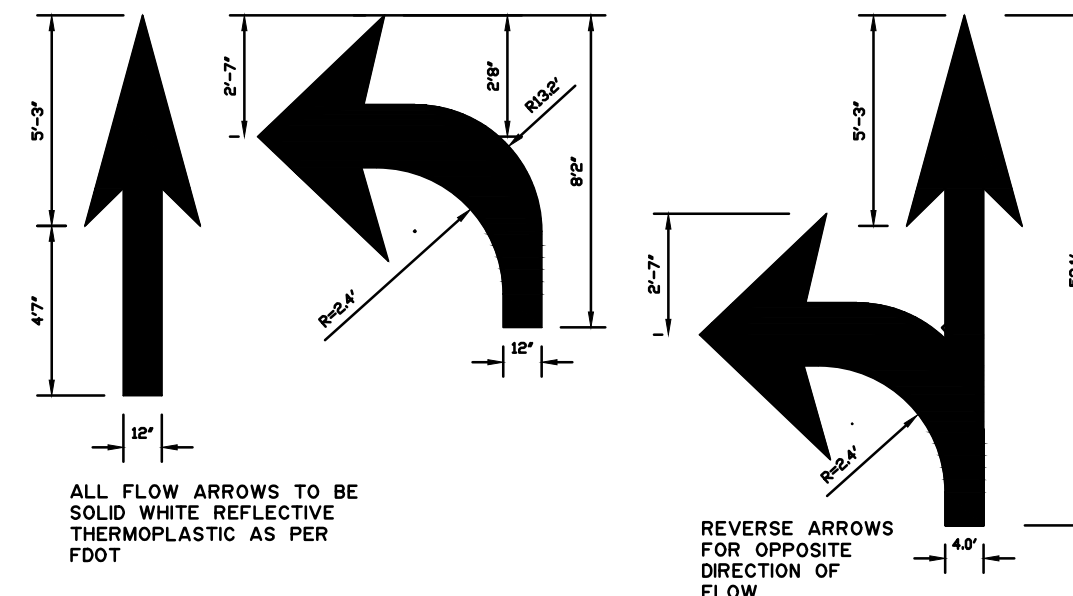


TYPICAL PARKING SPACES MARKINGS



TRAFFIC SIGNS

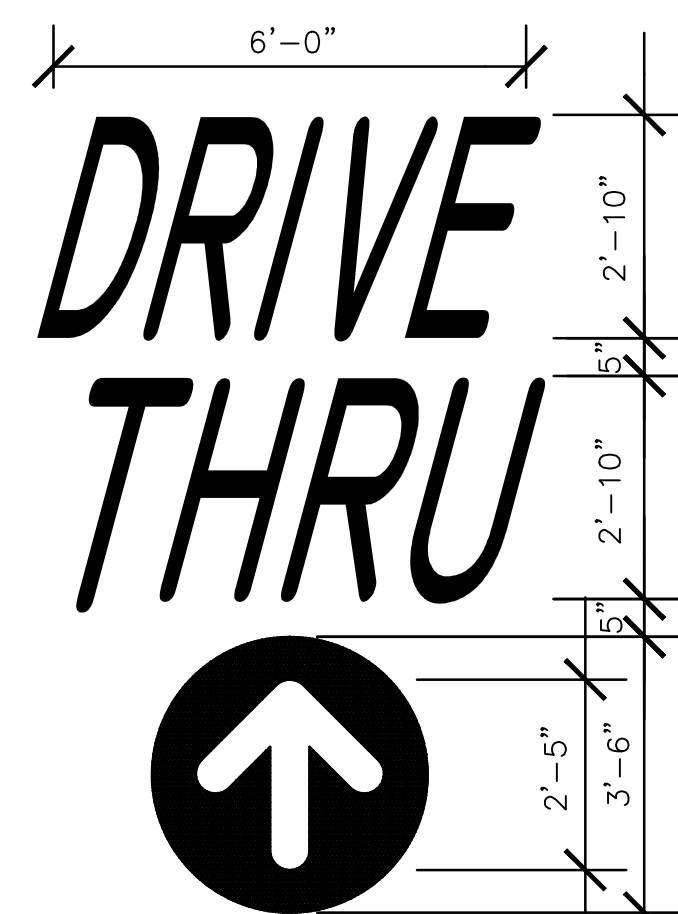
SIGNS ARE TO BE MOUNTED ON FLANGED POST



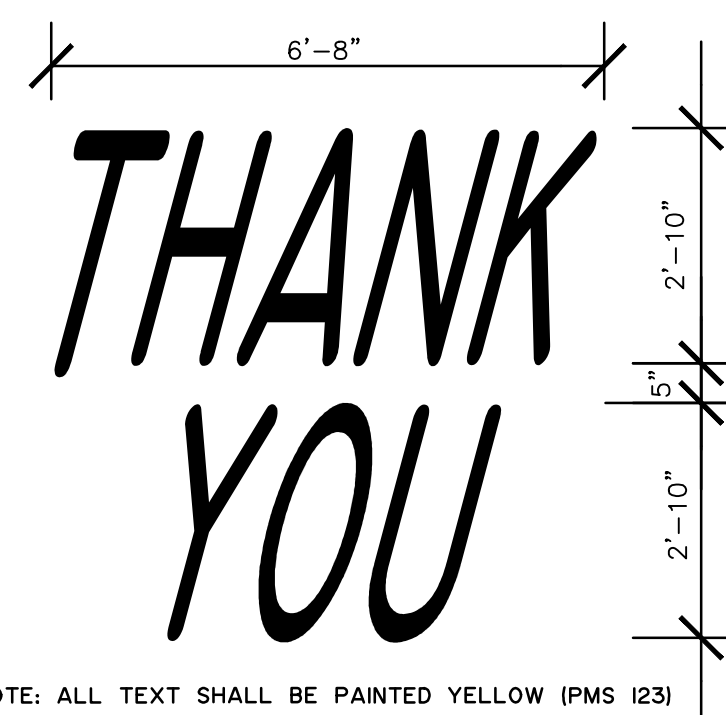
DIRECTIONAL ARROWS



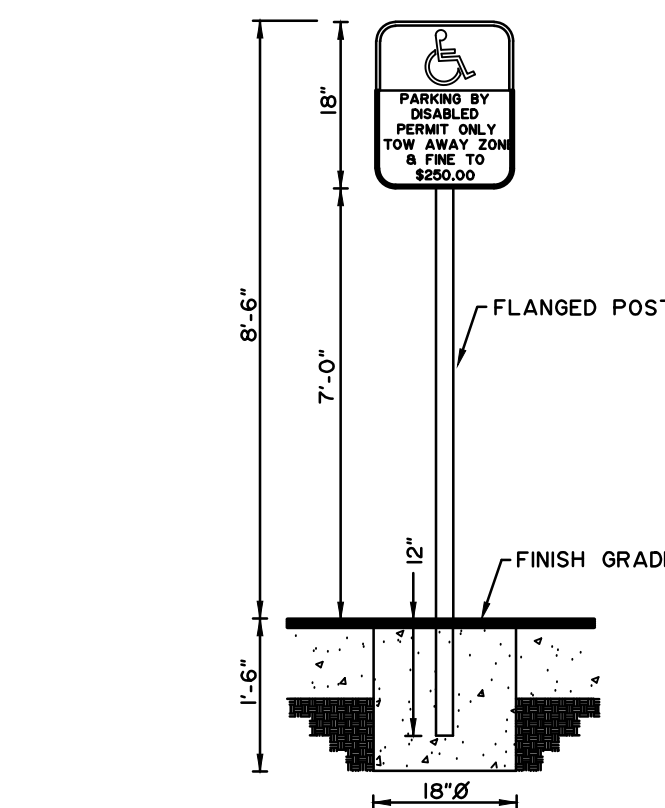
TYPICAL CURB MARKING AT CURB LOCATIONS



NOTE: ALL TEXT AND ARROW SHALL BE PAINTED YELLOW (PMS 123)



NOTE: ALL TEXT SHALL BE PAINTED YELLOW (PMS 123)



HANDICAPPED SIGN DETAIL

- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- (3) 1/2" EMPTY CONDUITS TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR.
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION. G.C. TO PROVIDE AS-BUILT UTILITY PLAN.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR LOCATIONS, SIZES, AND CIRCUITING.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.

PAVING SPECIFICATION

The General Contractor shall provide McDonald's with structurally and cosmetically sound driveway and parking areas according to the following specifications. All sub-base soil, fill and backfill areas shall have a minimum Limerock Bearing Ratio of 40. All base materials and above listed materials shall be compacted to a minimum 98% modified proctor (AASOT -IBO). All base materials shall be lime rock and have a minimum compacted thickness of six inches (6) and should meet Florida D.O.T Specs. All asphalt shall be Florida Specification Type S-1, Modified with a minimum Marshall Field Stability Test of 1250 lbs. and minimum compacted thickness of one and one half inches (1 1/2"). All testing shall be done by a company approved field engineer. The sub-base shall be tested in (4) locations for bearing value and compaction. The asphalt shall be tested in (4) locations for thickness and compaction. The asphalt shall be tested in (4) locations for thickness stability and type. All the testing for each preceding material must be satisfactory before each successive material is installed. McDonald's shall be notified of the test results of all the tests and re-tests. When a test fails, or when, in the opinion of the McDonald's field engineer and/or Regional Construction Manager, the installation is unsatisfactory, remedial testing and/or remedial corrective measures shall be done in accordance with their directives. All the above testing shall be done at the General Contractor's expense and shall be included in his/her C.S.S.

Note: McDonald's engineer reserves the right to request a compaction test and/or core sample. If tests prove correct, per above specification, tests will be at the expense of McDonald's otherwise G.C. will be charged.

PARKING INFORMATION

TOTAL SPACES	PARCEL IS	SPACES	X	0	*
	BUILDING ONLY	SPACES	X	0	*
		SPACES	X	0	*
		SPACES	X	0	*

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER			
WATER			
STORM SEWER			
ELECTRIC			
GAS			

SURVEY INFORMATION

PREPARED BY: FORTIN, LEAVY & SKILES, INC.
180 NORTHEAST 168 STREET
NORTH MIAMI BEACH, FLORIDA 33162
305-653-4493

DATE: APRIL 8, 2011

LEGEND

S	SANITARY SEWER	G	GAS
W	WATER	L	LOT LIGHT
ST	STORM SEWER	LP: 30	EXISTING ELEVATION (76.5)
E	ELECTRIC	77.0	PROPOSED ELEVATION

PLAN SCALE: 1"=20'

STREET ADDRESS		CITY	STATE
4200 W. SAMPLE ROAD		COCONUT CREEK	FLORIDA
COUNTY		STATUS	DATE
BROWARD		PRELIMINARY	
REGIONAL DWG. NO		LOCATION CODE NUMBER	AS-BUILT
-		009 - 1012	

REV	DATE	DESCRIPTION	BY	ISSUE/REF
1	12/26/14	REMOVE OUTDOOR SEATING	CZ	

GERARDO ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA

ZAMORA & ASSOCIATES, INC.
ENGINEERING
LAND PLANNING
11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801 FAX (305) 273-9514

McDONALD'S
4200 W. SAMPLE ROAD
COCONUT CREEK, FLORIDA

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORP. AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PLANNING
OPERATIONS DEPT.
REAL ESTATE DEPT.

CONTRACTOR
OWNER

OFFICE ADDRESS

PLAN APPROVAL
SIGNATURE (2 REQUIRED) DATE

REGIONAL MGR.
CONST. MGR.
OPERATIONS DEPT.
REAL ESTATE DEPT.

CO-SIGN SIGNATURES

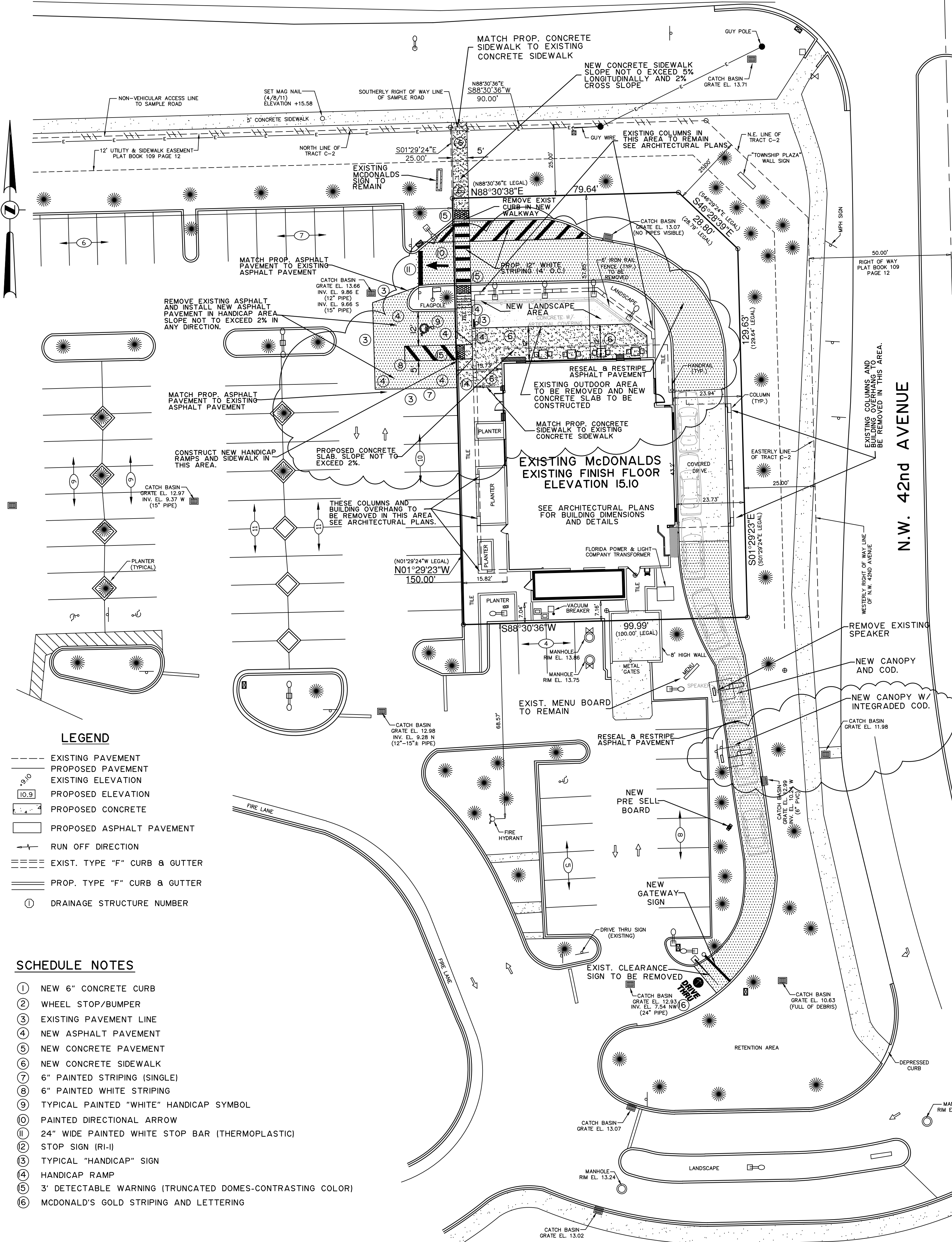
STATUS
DATE
BY

PRELIMINARY
PLAN CHECKED
AS-BUILT

C-2

SAMPLE ROAD
S.R. No. 834

SITE PLAN



SITE DATA:

ZONING: B - 3
LAND USE: COMMUNITY SHOPPING DISTRICT

Flood Zone: AH Elevation 14 FEET

BUILDING SETBACKS:	REQUIRED	EXISTING
Front (Sample Rd)	25 Ft.	56.8 Ft.
Rear	0 Ft.	7.0 Ft.
Side (East)	20 Ft.	23.7 Ft.

LEGAL DESCRIPTION:

Being a portion of Tract C-2, TARTAN COCONUT CREEK PHASE II, according to the Plat thereof as recorded in Plat Book 109 at Page 12 of the Public Records of Broward County, Florida.

Commence at the Northeast corner of said Tract C-2, said corner lying on the Southerly right-of-way line of Sample Road; thence South 88°30'36" West along said Southerly right-of-way line also being the North line of said Tract C-2 for 90.00 feet; thence South 01°29'24" East for 25.00 feet to the Point of Beginning of the hereinafter described parcel of land; thence North 88°30'36" East along a line parallel with and 25.00 feet South of said Southerly right-of-way line of Sample Road for 79.64 feet; thence South 46°29'24" East along a line parallel with and 25.00 feet Southwesterly of the Northeast line of said Tract C-2 for 28.79 feet; thence South 01°29'24" East along a line parallel with and 25.00 feet West of the Westerly right-of-way line of NW 42nd Avenue and its projection thereof said Westerly right-of-way line also being the Easterly line of said Tract C-2 for 129.64 feet; thence South 88°30'36" West for 100.00 feet; thence North 01°29'24" West for 150.00 feet to the Point of Beginning.

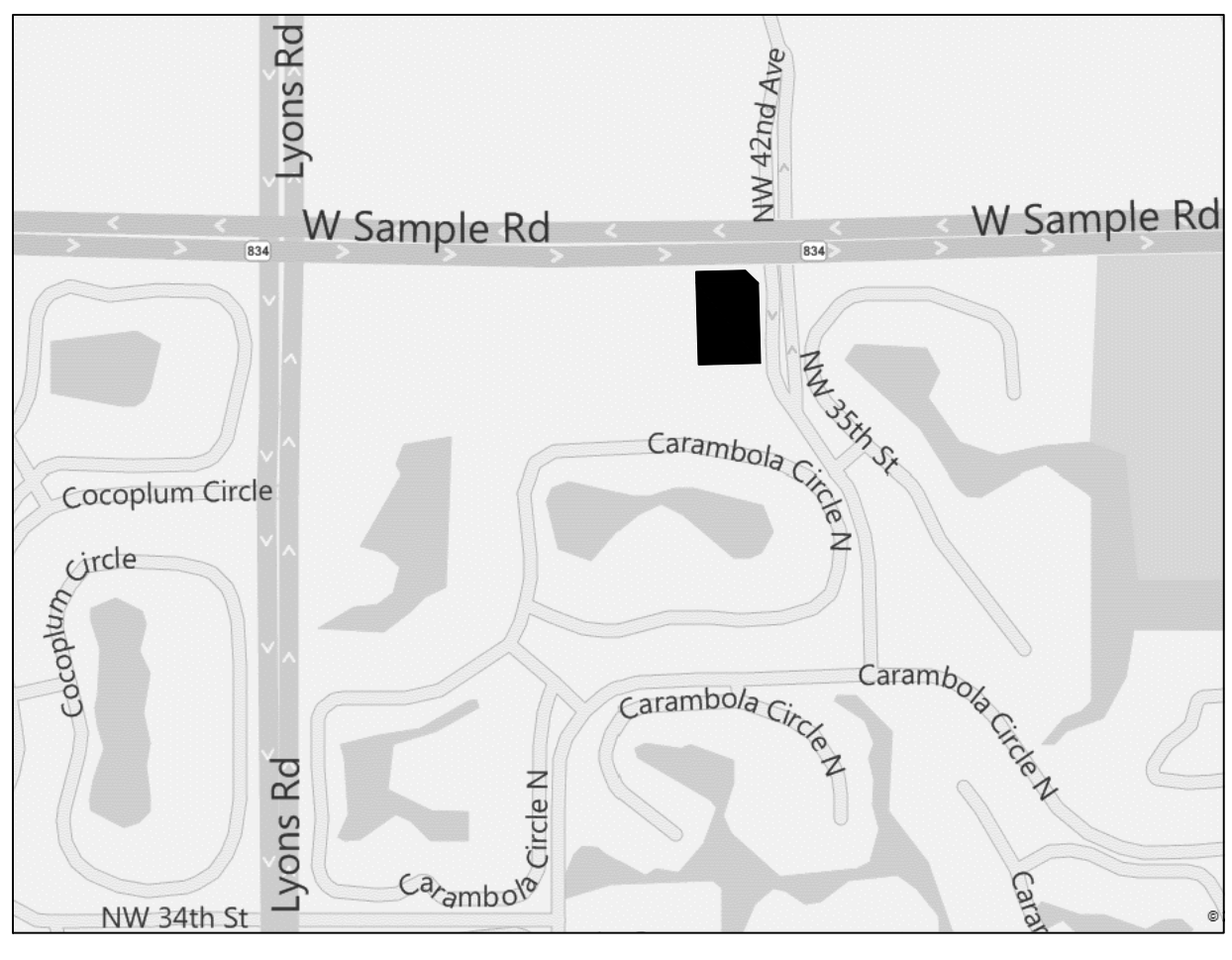
All lying and being in Section 20, Township 48 South, Range 42 East, City of Coconut Creek, Broward County, Florida.

NOTES:

- BACKGROUND INFORMATION OBTAINED FROM BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY FORTIN, LEAVY, SKILES, INC. APRIL 8, 2011.
- ELEVATIONS ARE BASED UPON N.G.V. DATUM OF 1929 AND AS SHOWN ON SURVEY.
- UNDERGROUND UTILITY INFORMATION IS TAKEN FROM THE BEST AVAILABLE SOURCES; BUT SHOULD BE VERIFIED BY THE CONTRACTOR IN THE FIELD WITH THE APPROPRIATE UTILITY AGENCY PRIOR TO COMMENCEMENT OF ANY WORK.
- EXISTING UTILITY LINES OTHER THAN THOSE INDICATED IN THIS DRAWING MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK. HE IS TO MAKE ALL POSSIBLE INVESTIGATION AS TO POSSIBLE UNMARKED UTILITY LINES.
- ANY APPARENT DISCREPANCIES IN THE PLANS AND FIELD CONDITIONS SHALL BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY THIS CONSTRUCTION TO A CONDITION EQUAL TO, OR BETTER THAN, THAT NOW EXISTING.
- CONTRACTOR SHALL ADJUST ANY UTILITY LIDS AND/OR COVERS IN PROJECT AREA TO THE FINISHED GRADE.
- THIS SITE LIES IN SECTION 20, TOWNSHIP 48 SOUTH, RANGE 42 EAST IN THE CITY OF COCONUT CREEK IN BROWARD COUNTY, FLORIDA.
- ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST BUILDING CODE IN AFFECT.
- CONTRACTOR SHALL VERIFY THAT COMPONENTS OF THE SITE COMPLY WITH CURRENT ADA STANDARDS AND SPECIFICATIONS.

NOTE TO CONTRACTOR:
CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE ADA REPORT DEVELOPED BY ADA COMPLIANCE. CONTRACTOR SHALL IMPLEMENT ALL REQUIRED WORK UNDER THIS REPORT. FURTHERMORE IF ANY ASPECT CAN NOT BE PERFORMED OR IF ANY ADDITIONAL EXISTING SITE ADA COMPONENT DOES NOT COMPLY WITH ADA STANDARDS CONTRACTOR SHALL NOTIFY ENGINEER AND McDONALD'S PROJECT MANAGER FOR DIRECTION.

NOTE TO CONTRACTOR:
AFTER ALL NEW SITE WORK HAS BEEN COMPLETED, THE HATCHED AREA IS TO BE RE-SEALED AND RE-STRIPPED.
CONTRACTOR TO TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO INSURE THAT NO DEBRIS ENTERS THE DRAINAGE SYSTEM.
AFTER ALL CONSTRUCTION IS COMPLETED CONTRACTOR TO VACUUM CLEAN THE EXISTING DRAINAGE SYSTEM AND MANHOLES.



LEGEND

- EXISTING PAVEMENT
- - - PROPOSED PAVEMENT
- EXISTING ELEVATION
- 10.9 --- PROPOSED ELEVATION
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT
- RUN OFF DIRECTION
- EXIST. TYPE "F" CURB & GUTTER
- PROP. TYPE "F" CURB & GUTTER
- ① DRAINAGE STRUCTURE NUMBER

SCHEDULE NOTES

- NEW 6" CONCRETE CURB
- WHEEL STOP/BUMPER
- EXISTING PAVEMENT LINE
- NEW ASPHALT PAVEMENT
- NEW CONCRETE PAVEMENT
- NEW CONCRETE SIDEWALK
- 6" PAINTED STRIPING (SINGLE)
- 6" PAINTED WHITE STRIPING
- TYPICAL PAINTED "WHITE" HANDICAP SYMBOL
- PAINTED DIRECTIONAL ARROW
- 24" WIDE PAINTED WHITE STOP BAR (THERMOPLASTIC)
- STOP SIGN (R-I-I)
- TYPICAL "HANDICAP" SIGN
- HANDICAP RAMP
- 3' DETECTABLE WARNING (TRUNCATED DOMES-CONTRASTING COLOR)
- McDONALD'S GOLD STRIPING AND LETTERING

REV	DATE	DESCRIPTION	BY	ISSUE/REF
1	2/26/14	REMOVE OUTDOOR SEATING	GZ	

PAVING SPECIFICATION

GERARDO ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA

ZAMORA & ASSOCIATES, INC.
ENGINEERING
LAND PLANNING
1410 N. KENDALL DRIVE SUITE 302 MIAMI FLORIDA 33176
(305) 273-7801 FAX (305) 273-9814

PARKING INFORMATION

TOTAL SPACES	PARCEL IS	SPACES	X	●	*
	BUILDING ONLY	SPACES	X	●	*
		SPACES	X	●	*
		SPACES	X	●	*

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER			
WATER			
STORM SEWER			
ELECTRIC			
GAS			

SURVEY INFORMATION

PREPARED BY: FORTIN, LEAVY & SKILES, INC.
180 NORTHEAST 168 STREET
NORTH MIAMI BEACH, FLORIDA 33162
305-653-4493

DATE: APRIL 8, 2011

LEGEND

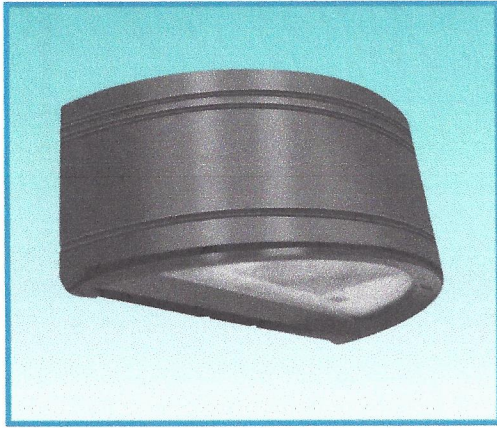
SANITARY SEWER	GAS
WATER	LOT LIGHT
STORM SEWER	EXISTING ELEVATION (76.5)
ELECTRIC	PROPOSED ELEVATION (77.0)

PLAN SCALE: 1"=20'

STREET ADDRESS
4200 W. SAMPLE ROAD

CITY	STATE	STATUS	DATE	BY
COCONUT CREEK	FLORIDA	PRELIMINARY		
COUNTY		PLAN CHECKED		
BROWARD		AS-BUILT		
REGIONAL DWG. NO	LOCATION CODE NUMBER	C-1		
-	009 - 1012			

RADIUS WALL SCONCE



The RWSC Series radius wall sconce offers maximum versatility with multiple light sources and finishes. The available combination of uplight/downlight washes the building facade while the radial soft form housing will complement similar architectural design elements.



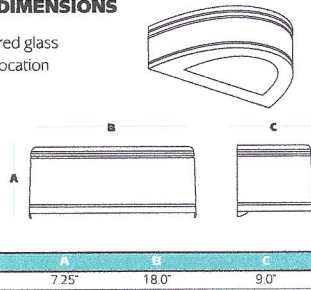
Fixture Specifications

FEATURES

- Durable cast aluminum housing
- Available in various lighting distributions for maximum versatility
- Integrated design eliminates high angle brightness
- Luminaire finished in weatherproof powder-coat paint

- Completely sealed, flat tempered glass lenses suitable for use in wet location
- Ships complete with lamp
- Downlight only, full cut-off Dark Sky compliant

DIMENSIONS



ORDERING INFORMATION

SAMPLE CATALOG NUMBER

RWSC **XXXXXX** **XX** **XX** **XXX**
 Series Wattage/Source Distribution Finish Voltage

SERIES	
RWSC	Radius Wall Sconce

WATTAGE/SOURCE	
70PMH	70 watt pulse start metal halide
100PMH	100 watt pulse start metal halide
150PMH	150 watt pulse start metal halide
70HPS	70 watt high pressure sodium
100HPS	100 watt high pressure sodium
150HPS	150 watt high pressure sodium
26QF	26 watt quad tube fluorescent
32TRF	32 watt triple tube fluorescent
42TRF	42 watt triple tube fluorescent
226QF	2x26 watt quad tube fluorescent
232TRF	2x32 watt triple tube fluorescent
242TRF	2x42 watt triple tube fluorescent
30LED	30 watt LED ¹

DISTRIBUTION	
UD	Up/Downlight
WD	Downlight only (wide distribution)- standard
FT	Downlight only (forward throw)

FINISH	
DB	Dark Bronze
BK	Black
WH	White
PS	Platinum Silver

¹ Consult factory for other lamp wattage and sources.
² Other finishes available. Consult factory.
³ Available with WD distribution only.
⁴ Not for use with LED source.

VOLTAGE	
120	120 volt
277	277 volt
MT	Multi-Tap

OPTIONS	
QSL	Quartz re-strike with lamp
F	Single fusing
FF	Double fusing
EM12²	1 MR11/MR16 two pin socket for 12v power (by others) 35w max. 35w MR11 lamp included.
2EM12²	2 MR11/MR16 two pin sockets for 12v power (by others) 35w max. 35w MR11 lamp included.

ACCESSORIES	
EM	Remote emergency ballast (fluorescent only)



A HUBBELL LIGHTING, INC. COMPANY

Performance Designed Lighting Products

www.securitylighting.com

1085 Johnson Drive • Buffalo Grove, IL 60089 • TOLL-FREE: 800-544-4848 • PHONE: 847-279-0627 • FAX: 847-279-0642

PROFESSIONALS' ELECTRONIC DATA DELIVERY SYSTEM

Signature Document

3/26/2014 2:14:15 PM

SIGNATURE SUMMARY

Financial Project ID: ---
Signatory Name: Richard Donofrio, LA - License No: LA6667150
Signatory File Path: ./_META_INFO/LA6667150_20140326_14146663.XML
Date Created: 2014/03/26 14:14:15.692
Scope of Work:

SIGNATURE DETAILS

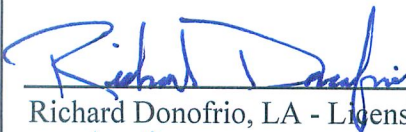
Signature File Hash Code: 04F75204-926CE144-542770E0-EDFA2B97-36194934
04F75204-926CE144-542770E0-EDFA2B97-36194934
04F75204-926CE144-542770E0-EDFA2B97-36194934

Number of Signed and Sealed Files: 1

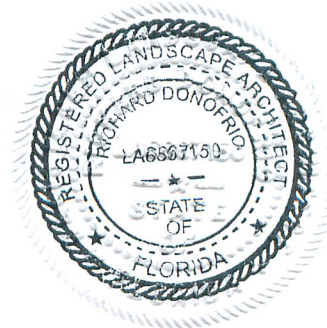
SIGN AND SEAL

This document is signed and sealed to secure the electronic files referenced by the signature files as described in Florida Department of Business and Professional Regulation, Board of Professional Landscape Architecture, Procedures for Signing and Sealing Electronically Transmitted Plans, Specifications, Reports or other Documents, Rule 61G10-11.011, F.A.C..

* See PEDDS for any qualifications or further limitation in scope on individual signed and sealed drawings or files in this project as appropriate.


Richard Donofrio, LA - License No: LA6667150

3/26/14
Date



PROFESSIONALS' ELECTRONIC DATA DELIVERY SYSTEM

Signature Report

3/26/2014 2:25:50 PM

Richard Donofrio, LA - License No: LA6667150

Signature File URL: ./_META_INFO/LA6667150_20140326_14146663.XML

Signature File Hash Code: 04F75204-926CE144-542770E0-EDFA2B97-36194934

Date Created: 2014/03/26 - 14:14:15.692

Number of Signed and Sealed Files: 1

Scope of Work:

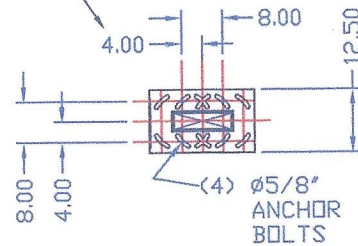
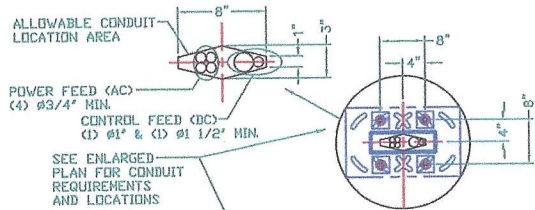
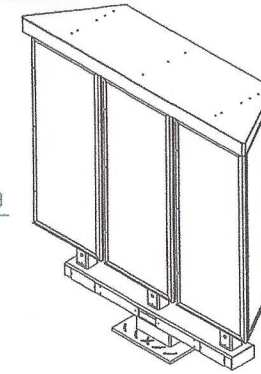
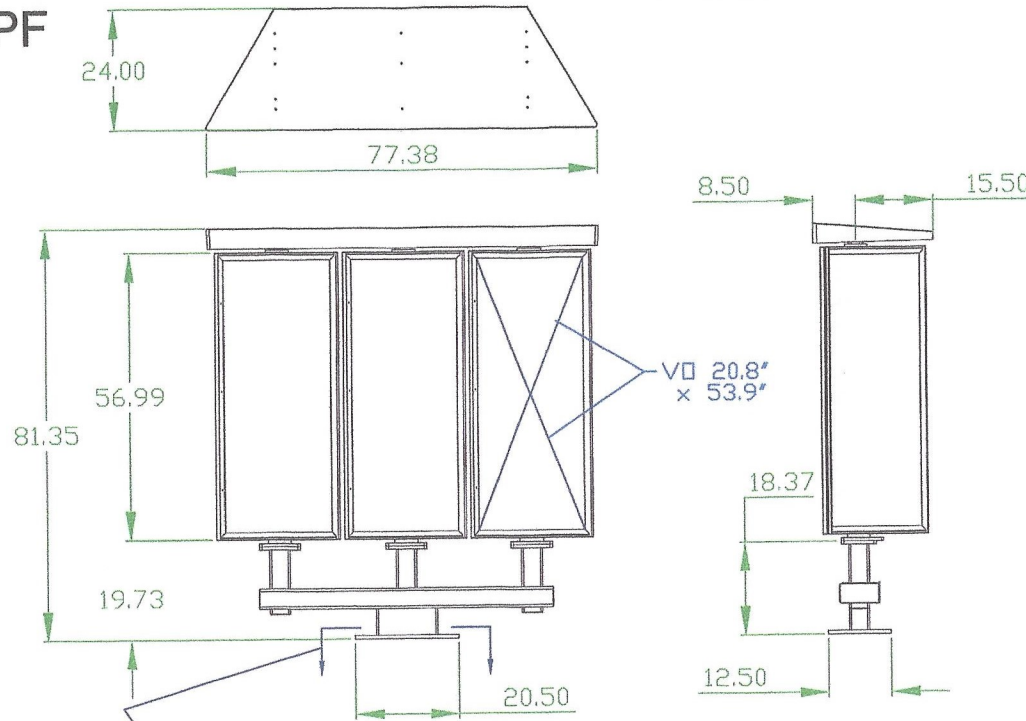
Signed and Sealed Files

File URL: ./2014-03-26_LSC_1066.52.PDF

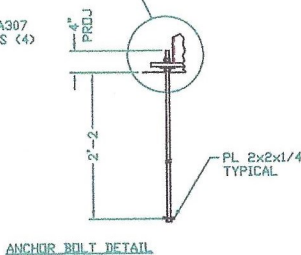
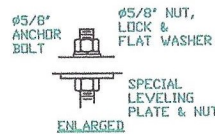
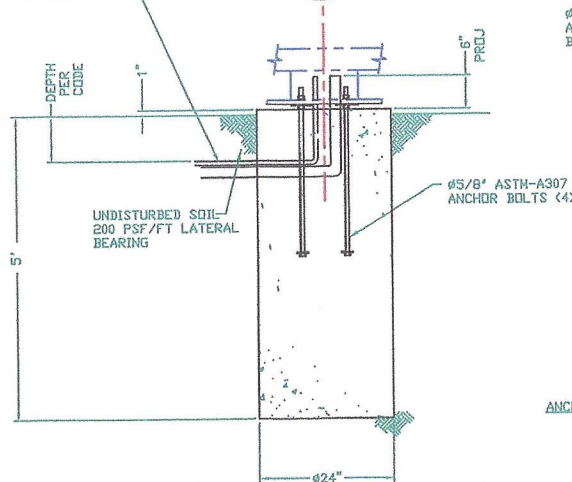
Hash Code: 2A95C572-1ECB40AA-CB8C063D-19897F46-EFB94119

I, J

MENUBOARD - NEW OPF



ELECTRICAL SPECIFICATIONS:
ILLUMINATED SQ FT: 23.3



WIND LOAD CRITERIA: 2010 F.B.C., 160 MPH Ultimate wind speed - exposure "D" Risk Category 1 Per ASCE 7-10. All fasteners and other metal in contact with aluminum shall be stainless steel or hot dip galv.

ELECTRICAL NOTES ILLUMINATED CABINETS

Primary wire size - #12 THWN
Disconnect switch - at base of sign, 20 amp single pole, time lock at panel room
Maximum load - 16 amps 120 volts per circuit maximum circuit size 20 amps per NEC 600-6A
Ballast - Universal H.O. or equiv.
Lamps - G.E. High output daylight or equiv. sizes vary with cabinet dimensions
Sockets - Kulka 5843 H.O. or equiv.
Conduit - minimum 1/2"
Total sign load - 8 amps 120 volts
Total sign circuits - 1
All components shall be U.L. approved
Ballasts shall have independent U.L. approval (fused where required)
All installations shall be in compliance with N.E.C. and state, county, or local codes
All signs shall be bonded to building equipment bonding conductor per N.E.C. 250

ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET N.E.C. STANDARDS
Underwriters Laboratories Inc.
ELECTRIC SIGN

Handwritten signature and date: 7/6/12

McDonald's

Coconut Creek
4200 W. Sample Blvd.
Coconut Creek, FL.

Kemp Signs inc.

1767 Hill Ave.
West Palm Beach, Fl. 33407
561-840-6382 fax 561-840-6385

ALBERT A. GARGIULO, P.E.

CONSULTING ENGINEER

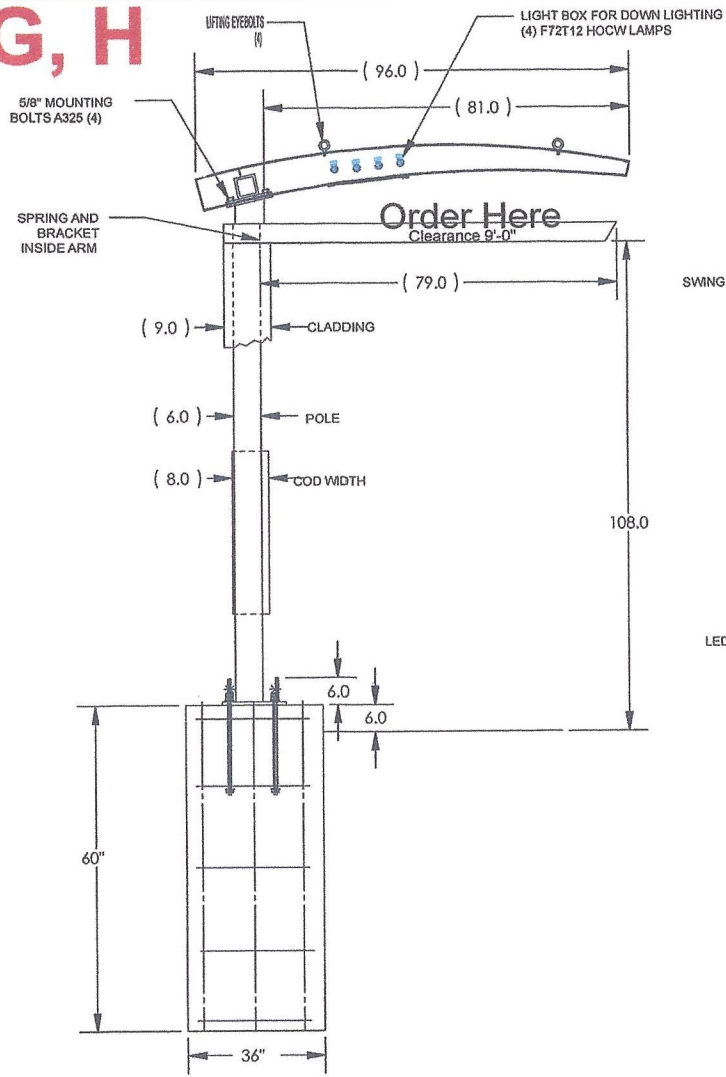
Lic. No. PE 32582

324 SUNSET RD.

WEST PALM BEACH, FL. 33401

561-686-5554

G, H

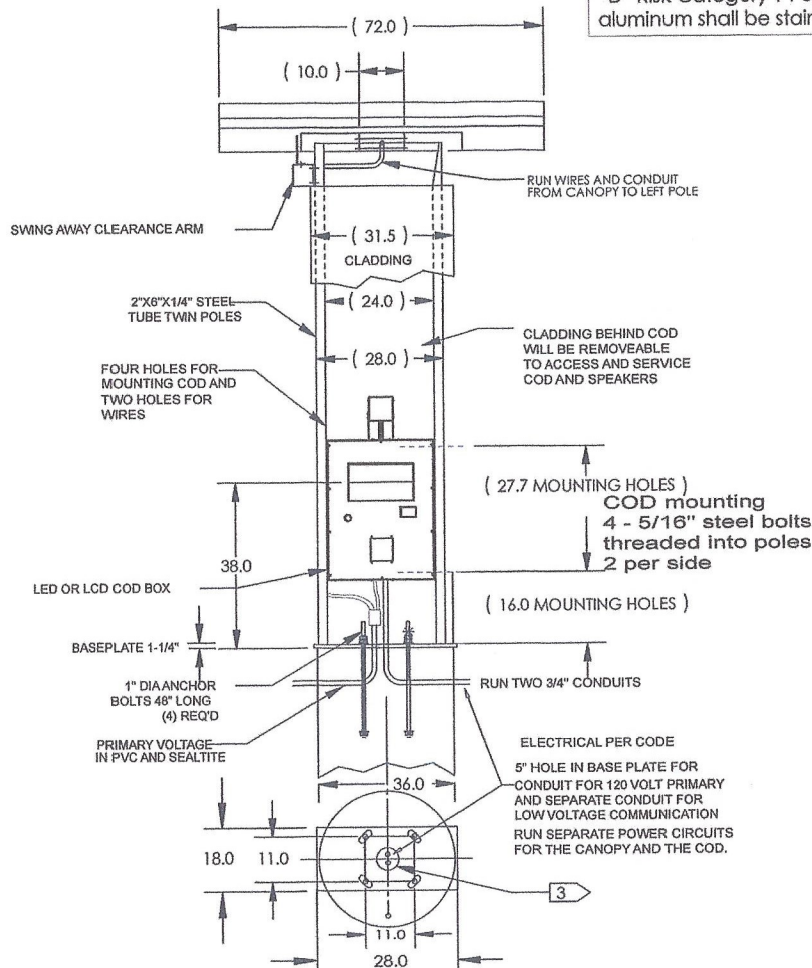


AUGER TYPE FOOTING
USE SIX #5 VERTICAL BARS
WITH #3 TIE BARS 12" ON CENTER

ELECTRICAL NOTES ILLUMINATED CABINETS

Primary wire size - #12 THWN
Disconnect switch - at base of sign, 20 amp single pole, timeclock at panel room
Maximum load - 16 amps 120 volts per circuit maximum circuit size 20 amps per NEC 600-6A
Ballast - Universal H.O. or equiv.
Lamps - G.E. High output daylight or equiv. sizes vary with cabinet dimensions
Sockets - Kulka 5843 H.O. or equiv.
Conduit - minimum 1/2"
Total sign load - 3.64 amps 120 volts
Total sign circuits - 1
All components shall be U.L. approved, and sign unit complete shall have a UL listing sticker.
Ballasts shall have independent U.L. approval (fused where required)
All installations shall be in compliance with N.E.C. and state, county, or local codes
All signs shall be bonded to building equipment bonding conductor per N.E.C. 250

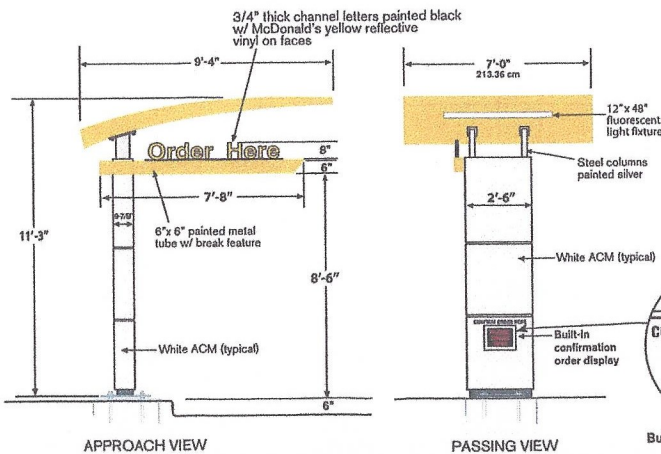
WIND LOAD CRITERIA: 2010 F.B.C., 160 MPH Ultimate wind speed - exposure "D" Risk Category 1 Per ASCE 7-10. All fasteners and other metal in contact with aluminum shall be stainless steel or hot dip galv.



- INSTALLER INSTRUCTIONS:**
1. STAKE FOUNDATION AREA AND CONFIRM FINAL GRADE REQUIREMENTS WITH G. C.
 2. EXCAVATE FOUNDATION AREA.
 3. INSTALL CONDUIT STUB AND ANCHOR BOLTS AND POUR CONCRETE. (PRIMARY ELECTRICAL SERVICE TO BASE BY G. C.) NOTE: COMBINED CONDUIT SHOULD NOT EXCEED 5 INCHES IN DIAMETER.
 4. ALLOW CONCRETE CURE TIME AS REQUIRED
 5. INSTALL POLE ENSURE POLE IS LEVELED.
 6. MOUNT CANOPY ON POLE
 7. INSTALL "ORDER HERE" ARM TO POLE, LEVEL.
 8. MAKE FINAL ELECTRICAL HOOK UP TO PRIMARY IN WEATHER PROOF JUNCTION BOX SUPPLIED BY INSTALLER (ALL ELECTRICAL TO MEET ALL LOCAL CODES.
 9. IF THERE IS A COD, MAKE ELECTRICAL AND POS CONNECTIONS.
 10. ATTACH CLADDING TO POLE PER INSTRUCTIONS WITH CLADDING.
 11. NOTE: POLE SUPPLIED WITH POWDER-COAT PAINTED FINISH. INSTALLER TO PERFORM TOUCH-UP PAINTING AS REQUIRED. PAINT WILL BE SHIPPED WITH THE POLE FOR THIS PURPOSE.
 12. TEST LIGHT CANOPY AND TOUCH UP FRAME AS NEEDED.
 13. REMOVE LIFTING BOLTS AND REINSTALL HEX BOLTS.
 14. CLEAN UP AREA AND REMOVE ANY PACKING MATL.

- DESIGN NOTES:**
- 1.) ALL CONCRETE EXCEPT CONCRETE USED FOR BACK FILL SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I
 - 2.) CONCRETE BASE DESIGNED USING GOOD TO AVERAGE SOILS HAVING AN ALLOWABLE BEARING CAPACITY OF 200 P.S.F.F.T.
 - 3.) ALL FOOTING EXCAVATIONS ARE TO BE FREE OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.
 - 4.) IF THESE CONDITIONS DO NOT EXIST, A NEW BASE MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER.

ELECTRICAL DATA:
LINELOAD: 3.64 AMPS (1) 20 AMP 120 VOLT CIRCUIT
ENCLOSED BALLAST FULHAM WORKHORSE 7
LAMPS: F72T12 CW/HO (4) REQ'D



Illumination: 4 - F72T12 CW/HO
Electrical: 15 Amp 120 Volt
Ballast: Fulham Workhorse 7
Ship Weight: 1300 lbs.
Other:

- Available with LED or LCD COD.
- Spring loaded swing away 9' clearance arm



Built-in Confirmation Order Display

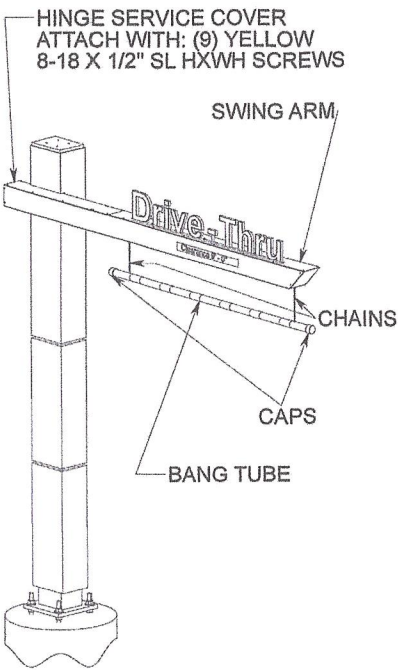
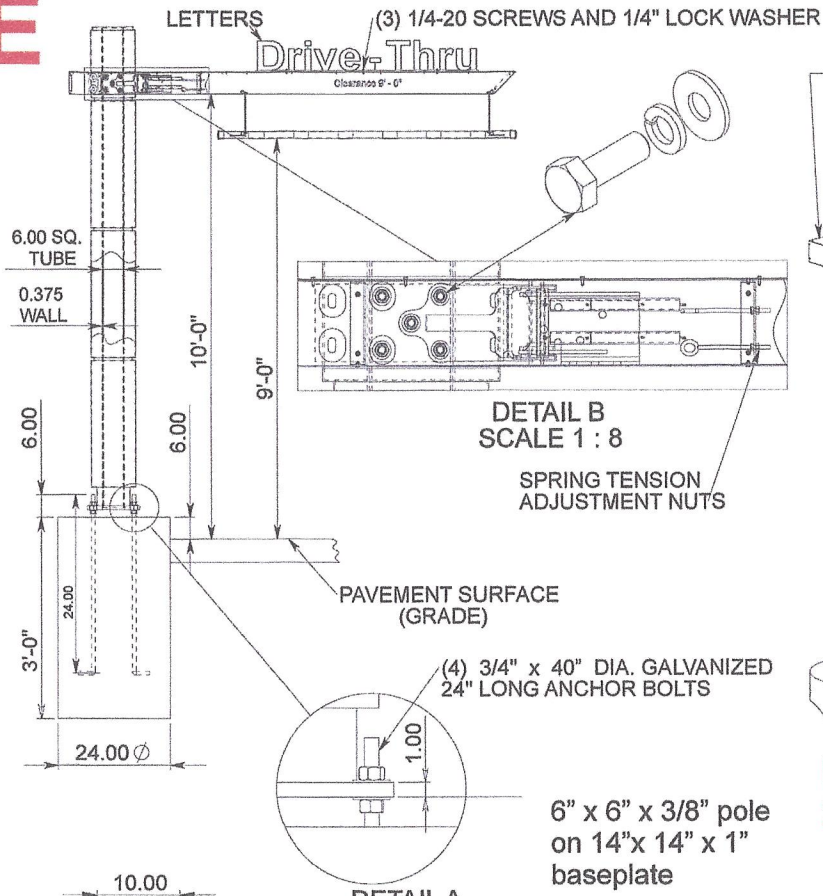
McDonald's
Coconut Creek
4200 W. Sample Blvd.
Coconut Creek, FL.

Kemp Signs inc.
1767 Hill Ave.
West Palm Beach, Fl. 33407
561-840-6382 fax 561-840-6385

ALBERT A. GARGIULO, P.E.
CONSULTING ENGINEER
Lic. No. PE 32582
324 SUNSET RD.
WEST PALM BEACH, FL. 33401
561-686-5554

Albert A. Gargiulo
1/16/12

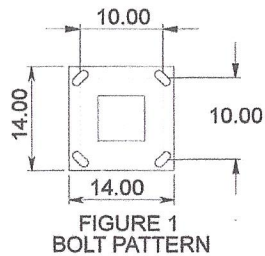
E



**DRIVE THRU COPY
2 TOTAL SQ. FT.**

INSTALLATION INSTRUCTIONS :

1. STAKE FOUNDATION AREA AND CONFIRM FINAL GRADE REQUIREMENTS WITH G. C. (TOP OF FOUNDATION IS 6" ABOVE PAVEMENT (GRADE))
2. EXCAVATE FOUNDATION AREA.
3. POUR FOUNDATION (24" DIA. x 36" DEPTH) INSERT (4) ϕ 3/4" x 24" ANCHOR BOLTS (PER FIGURE 1).
4. ALLOW CONCRETE CURE TIME AS REQUIRED.
5. PLACE (4) ϕ 1.00" LEVELING NUTS AND WASHERS ON THE FOUR ANCHOR BOLTS TO PROVIDE A GAP BETWEEN THE FOUNDATION AND BASE PLATE OF THE POLE. (SEE DETAIL A).
6. POSITION THE POLE ONTO THE ANCHOR BOLTS AND SECURE IN PLACE WITH (4) ϕ 3/4" NUTS AND WASHERS, (SEE DETAIL A).
7. LEVEL POLE BY ADJUSTING THE 3/4" NUTS (SEE DETAIL A)
8. INSTALL SWING ARM (SEE DETAIL B) IN TO THREADED HOLES IN POLE, (DO NOT TIGHTEN YET)
USING: (5) 1/2-13 X 1-1/2" HEX BOLTS
(5) 1/2" FLAT WASHERS
(5) 1/2" LOCK WASHERS
9. ATTACH "DRIVE-THRU" LETTERS TO TOP OF SWING ARM TO (3) RIVNUTS (LETTERS MUST BE ATTACHED FOR LEVELING)
USING: (3) 1/4-20 X 1" SCREW
(3) 1/4" LOCK WASHER
10. LEVEL SWING ARM (LIFT OVER LEVEL TIGHTEN SECURELY)
LET ARM HANG - CHECK LEVEL - ADJUST AS NEEDED.
11. ADJUST SPRING TENSION AS NEEDED TO HOLD SWING ARM IN POSITION BY ADJUSTING THE 1/4-20 NUTS ON THE EYE BOLTS (SEE DETAIL B)
TIGHTEN JAM NUTS SECURELY WHEN DONE.
12. INSTALL CLADDING PER INSTRUCTIONS INCLUDED WITH THE CLADDING.
13. ADJUST THE HEIGHT OF THE BANG TUBE TO BE 9 FEET ABOVE THE DRIVE PAVEMENT (GRADE).
13.1 REMOVE CAPS ON BANG TUB
13.2 LIFT TUBE TO CREATE SLACK IN CHAIN
13.3 PULL CHAIN OUT OF END OF TUBE
13.4 MOVE COTTER PIN UP OR DOWN ON THE CHAIN AS NEEDED
13.5 LET TUBE HANG - CHECK HEIGHT
13.5 REPLACE CAPS ON ENDS OF THE TUBE
14. INSTALL HINGE SERVICE COVER - ATTACH WITH:
(9) YELLOW 8-18 X 1/2" SL HXWH SCREWS.
15. TOUCH UP POLE AND SWING ARM WITH PAINT SUPPLIED.

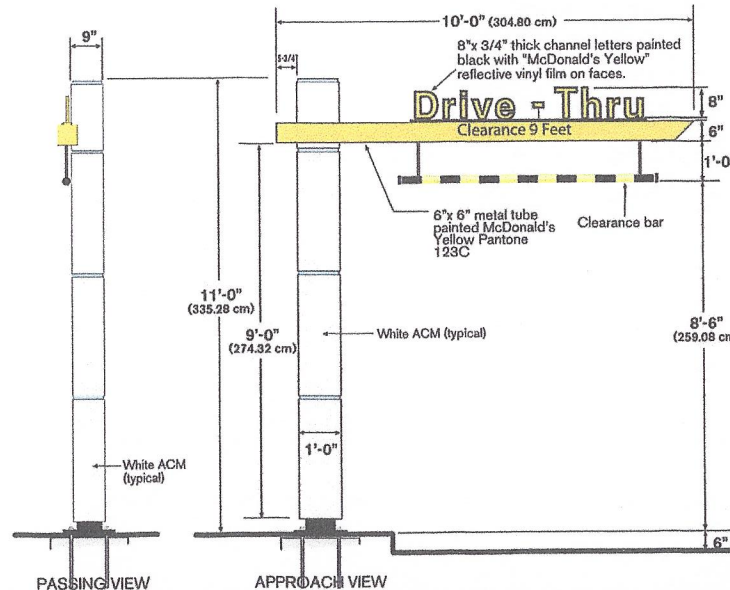


- DESIGN NOTES**
- 1.) ALL CONCRETE EXCEPT CONCRETE USED FOR BACK FILL SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I.
 - 2.) CONCRETE BASE DESIGNED USING GOOD TO AVERAGE SOILS HAVING AN ALLOWABLE BEARING CAPACITY OF 200 P.S.F./FT.
 - 3.) ALL FOOTING EXCAVATIONS ARE TO BE FREE OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.
 - 4.) IF THESE CONDITIONS DO NOT EXIST, A NEW BASE MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER.

LANDSCAPE NOTE:

Area above the base plate is to remain exposed. No shroud or landscape material should be placed on top of the base plate.

WIND LOAD CRITERIA: 2010 F.B.C., 160 MPH Ultimate wind speed - exposure "D" Risk Category 1 Per ASCE 7-10. All fasteners and other metal in contact with aluminum shall be stainless steel or hot dip galv.



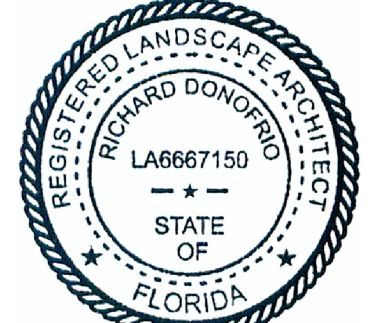
McDonald's
Coconut Creek
4200 W. Sample Blvd.
Coconut Creek, FL.

Kemp Signs inc.
1767 Hill Ave.
West Palm Beach, Fl. 33407
561-840-6382 fax 561-840-6385

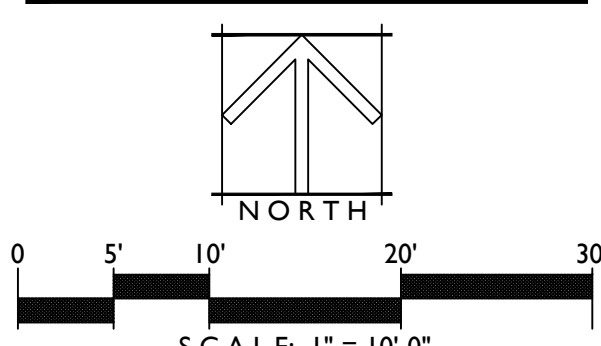
ALBERT A. GARGIULO, P.E.
CONSULTING ENGINEER
Lic. No. PE 32582
324 SUNSET RD.
WEST PALM BEACH, FL. 33401
561-686-5554

Albert A. Gargiulo
10/10/11

REVISION DATES		
DATE	APPROVAL	NOTES
1-27-2014		INITIAL PREPARATION
2-27-2014		REVISIONS TO ADDRESS CITY COMMENTS



"ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE LANDSCAPE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE LANDSCAPE ARCHITECT'S WRITTEN PERMISSION."



DRAWN BY: LHT
 DRAWING #: 2014-02-27_LSC_1066.52.dwg
 FILE #: 1066.52

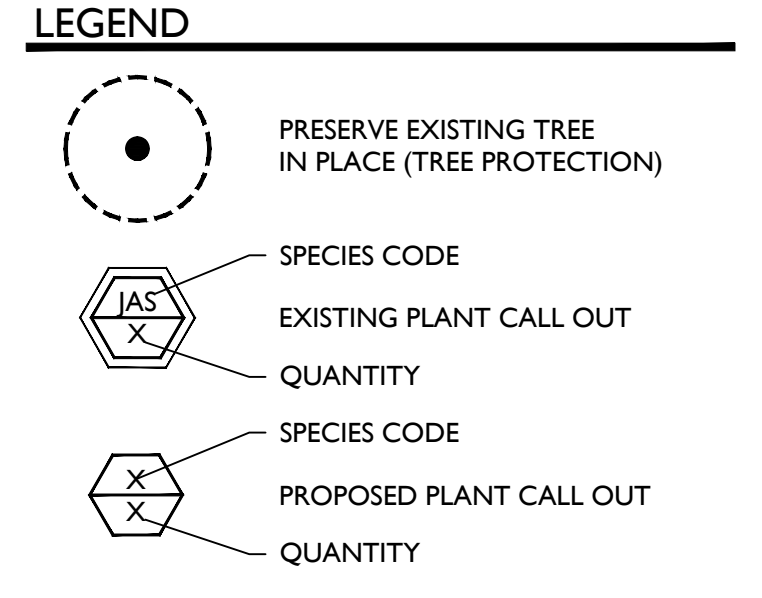
PLANT SCHEDULE

TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	REMARKS	
CE	1	Silver Buttonwood	Conocarpus erectus seneceus	B # B	8' - 10' HT.	Yes	2" Cal., 4'-6" Sprd., Full	
IE	3	East Palatka Holly	Ilex x attenuata 'East Palatka'	B # B	8' - 10' HT.	Yes	2" Cal., 4'-6" Sprd., Full	
PALM TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	REMARKS	
AC	2	Paurotis Palm	Acocelorrhaphie wrightii	B # B	10' O.A. HT	Yes	Full	
SP	3	Cabbage Palmetto	Sabal palmetto	B # B	8', 10' # 12' CT	Yes	Slick, Staggered Heights	
ACCENTS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	REMARKS	
TI	32	Black Magic Ti	Cordyline fruticosa 'Black Magic'	7 gal	3'-4' HT.	No	Full, 3 Plants per pot	
SR	13	Bird Of Paradise	Strelitzia reginae	7 gal	3'-4' HT.	No	Full, 3 Plants per pot	
SHRUB AREAS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING	REMARKS
CHR	107	Red Tip Cocoplum	Chrysobalanus icaco 'Red Tip'	3 gal	24" Ht. x 24" Sprd.	Yes	24" o.c.	Full
HLD	19	Lady Di Heliconia	Heliconia psittacorum 'Lady Di'	3 gal	18" Ht. x 18" Sprd.	No	24" o.c.	Full
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING	REMARKS
DIA	44	Flax Lily	Dianella tasmanica 'Vanegata'	3 gal	12" Ht. x 12" Sprd.	No	18" o.c.	Full
HAM	78	Dwarf Scarlet Bush	Hamelia patens 'Compacta'	3 gal	12" Ht. x 12" Sprd.	Yes	18" o.c.	Full
ILX	84	Dwarf Yaupon	Ilex vomitoria 'Nana'	3 gal	12" Ht. x 12" Sprd.	Yes	18" o.c.	Full
ZAM	65	Coontie	Zamia pumila	3 gal	12" Ht. x 12" Sprd.	Yes	18" o.c.	Full

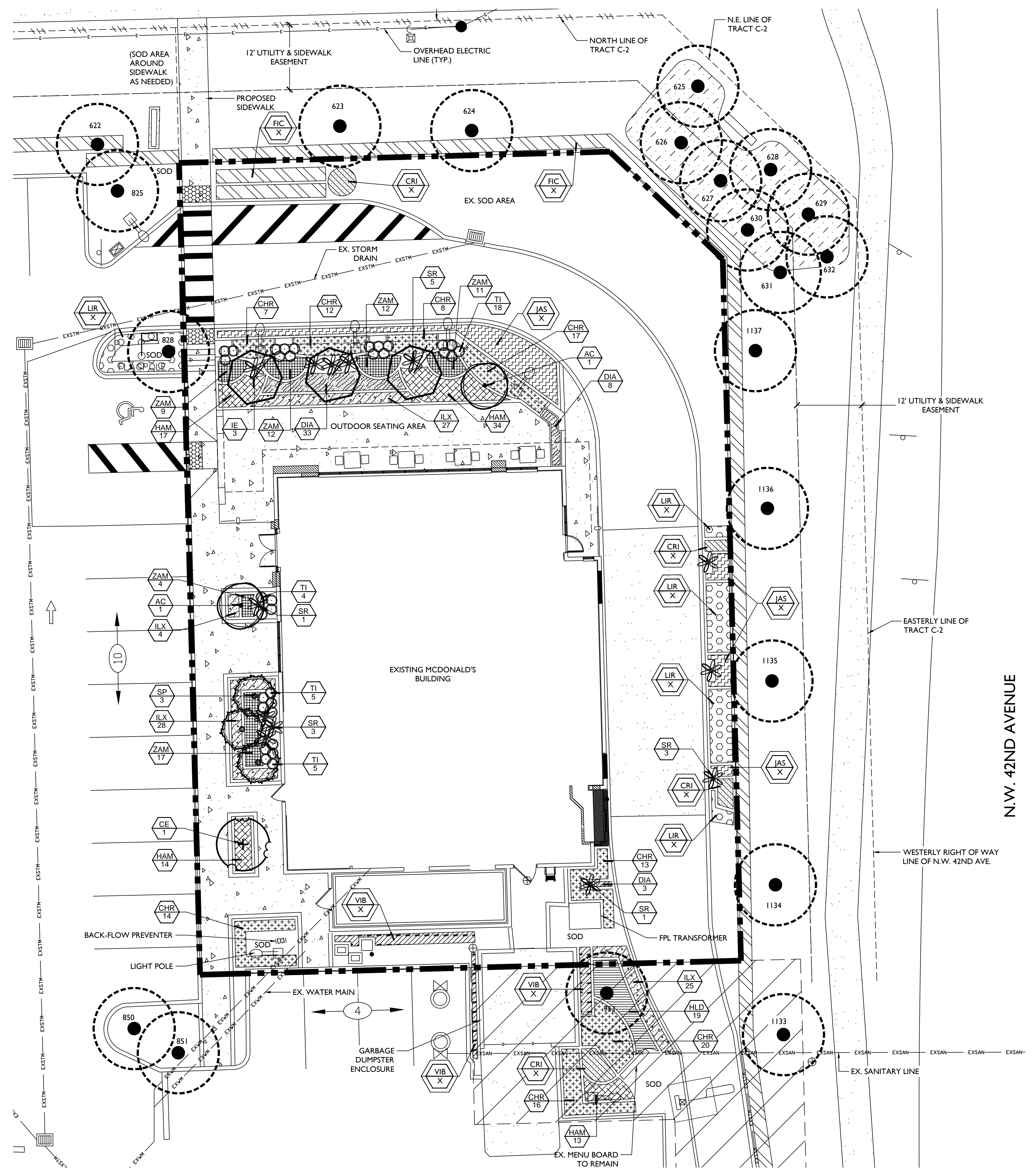
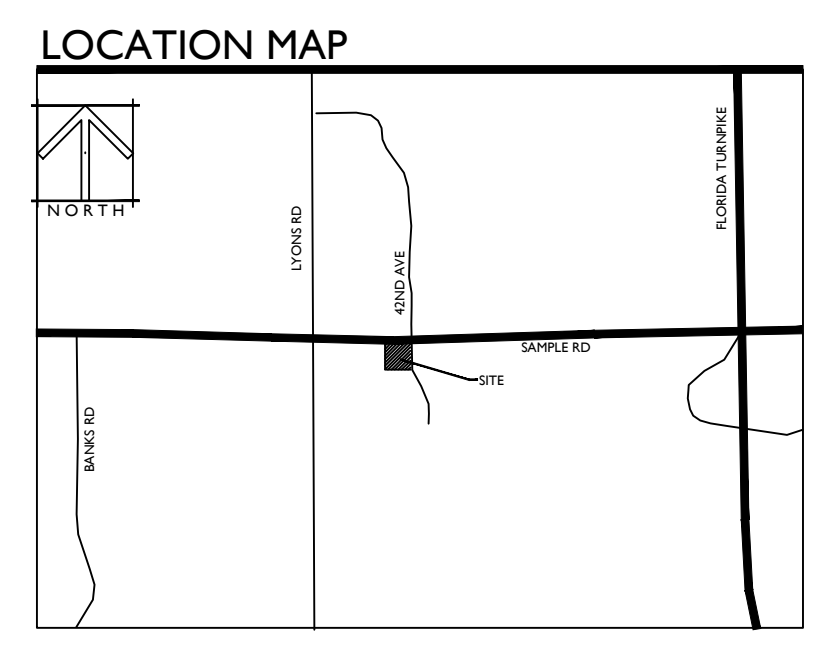
SOD St. Augustine 'Floritam' Stenotaphrum secundatum Solid Sod, Sq. Ft. to be determined by land contractor
 - PLANT SCHEDULE SATISFIES 50% MIN. NATIVE REQUIREMENTS.
 100% OF ALL TREES/PALMS, 63% OF ALL SHRUBS/ACCENTS, AND 84% OF ALL GROUNDCOVERS ARE NATIVE SPECIES.

EXISTING TABULAR TREE LIST				
POINT	SIZE	SPREAD	HEIGHT	TYPE
622	16"	24	28	OAK
623	20"	35	28	OAK
624	20"	30	30	OAK
625	9	20	24	QUEEN PALM
626	9	20	24	QUEEN PALM
627	14	20	18	QUEEN PALM
628	9	20	2	QUEEN PALM
629	12	20	24	QUEEN PALM
630	10	20	22	QUEEN PALM
631	10	20	20	QUEEN PALM
632	10	20	20	QUEEN PALM
825	10	18	25	TABEBUIA
828	8	18	20	TABEBUIA
850	10	12	23	FOX TAIL PALM
851	10	12	23	FOX TAIL PALM
1133	14	30	30	OAK
1134	14	30	25	OAK
1135	14	30	28	OAK
1136	14	30	28	OAK
1137	14	30	28	OAK

EXISTING LANDSCAPE SCHEDULE			
SHRUBS			
CODE	Botanical Name	Common Name	Remarks
CRI	CRINUM AUGUSTUM	CRINUM LILY	Existing To Remain
FIC	FICUS NITIDA	FICUS	Existing To Remain
LIR	LIRIOPE MUSCARI 'EVERGREEN GIANT'	LIRIOPE	Existing To Remain
JAS	JASMINUM VOLLUBLE	WAX JASMINE	Existing To Remain
VIB	VIBURNUM ODORTISSIMUM	SWEET VIBURNUM	Existing To Remain



IRRIGATION NOTE
 - EXISTING IRRIGATION SYSTEM TO BE REPAIRED/REPLACED AS NEEDED. IRRIGATION IS REQUIRED PROVIDING 100% COVERAGE WITH A MAXIMUM OF 50% OVERLAP. AN AUTOMATIC RAIN SENSOR MUST BE INCLUDED.

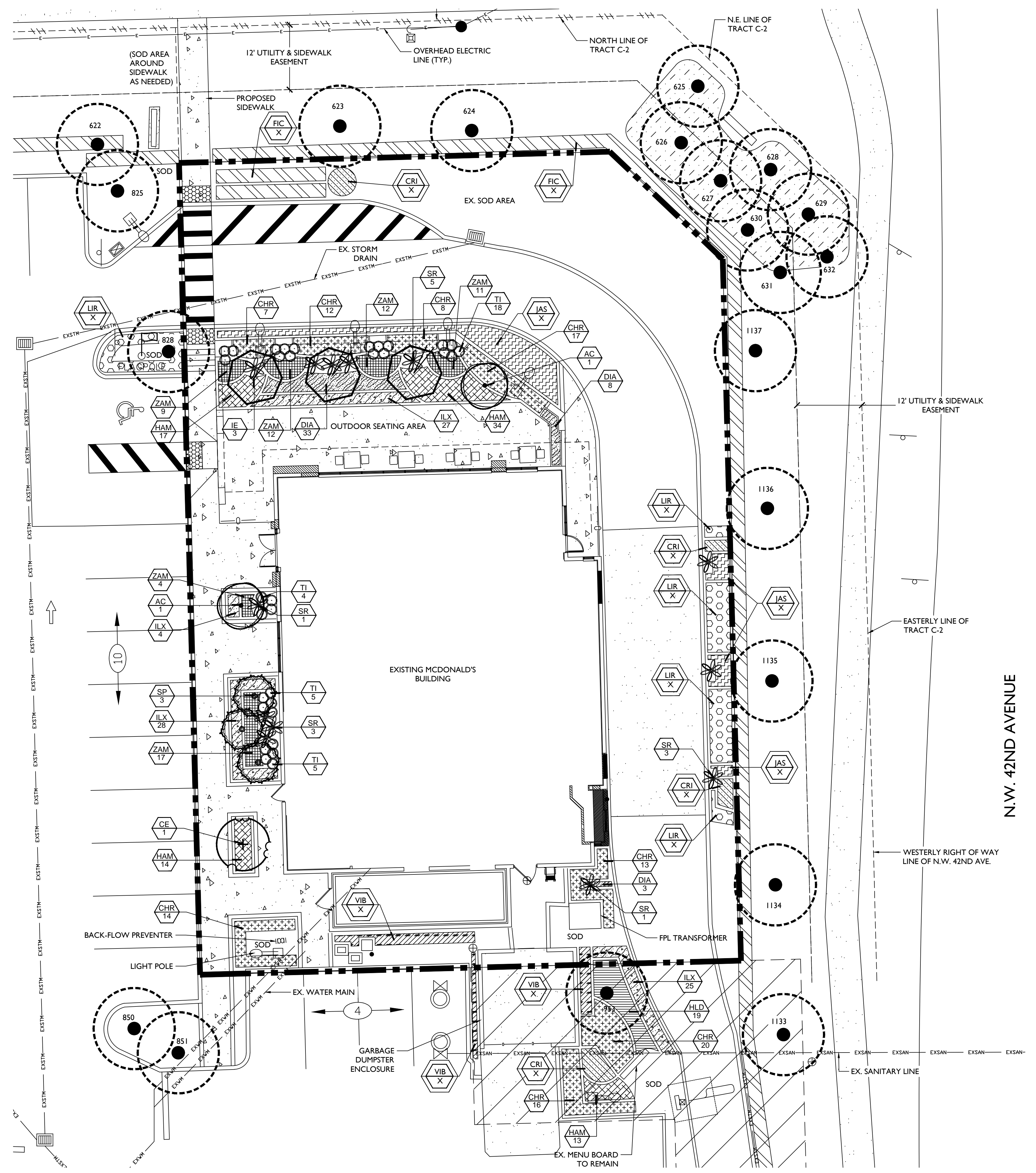


N.W. 42ND AVENUE

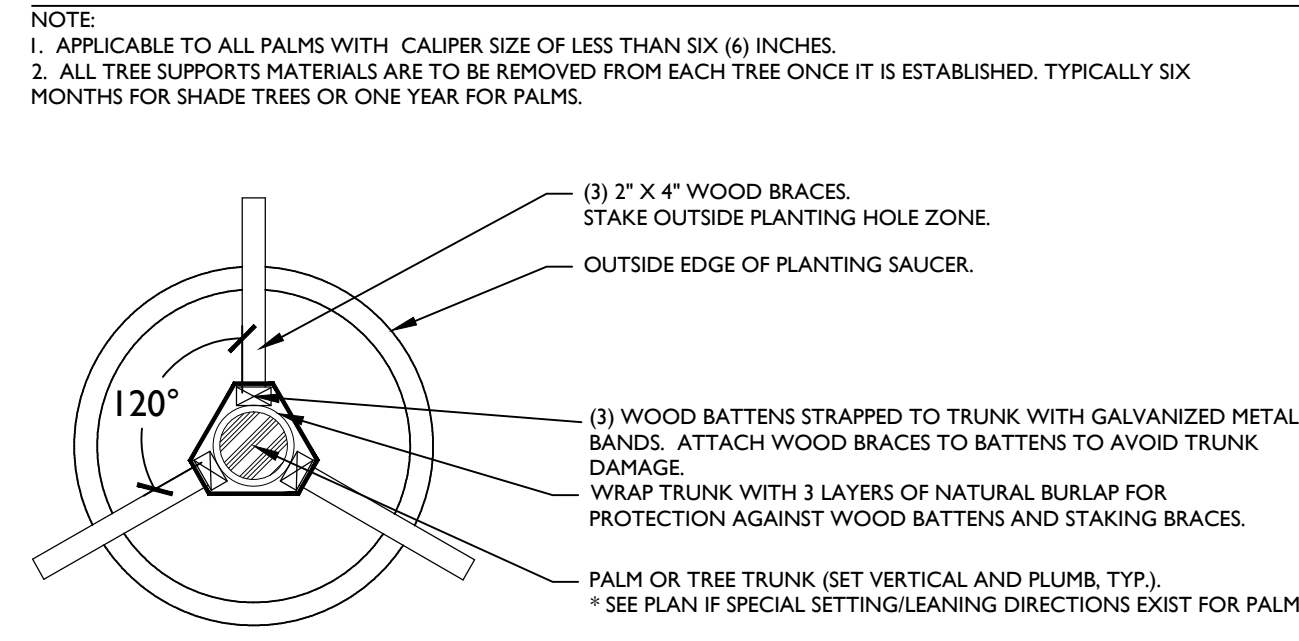
EASTERLY LINE OF TRACT C-2

WESTERLY RIGHT OF WAY LINE OF N.W. 42ND AVE.

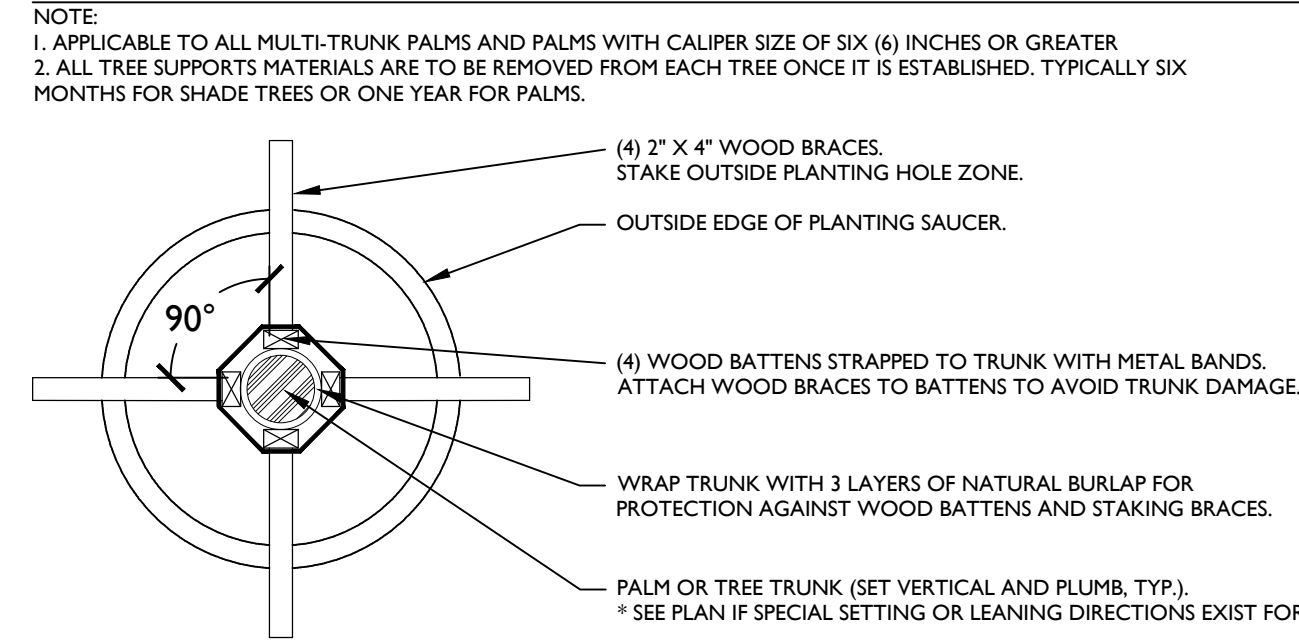
EX. SANITARY LINE



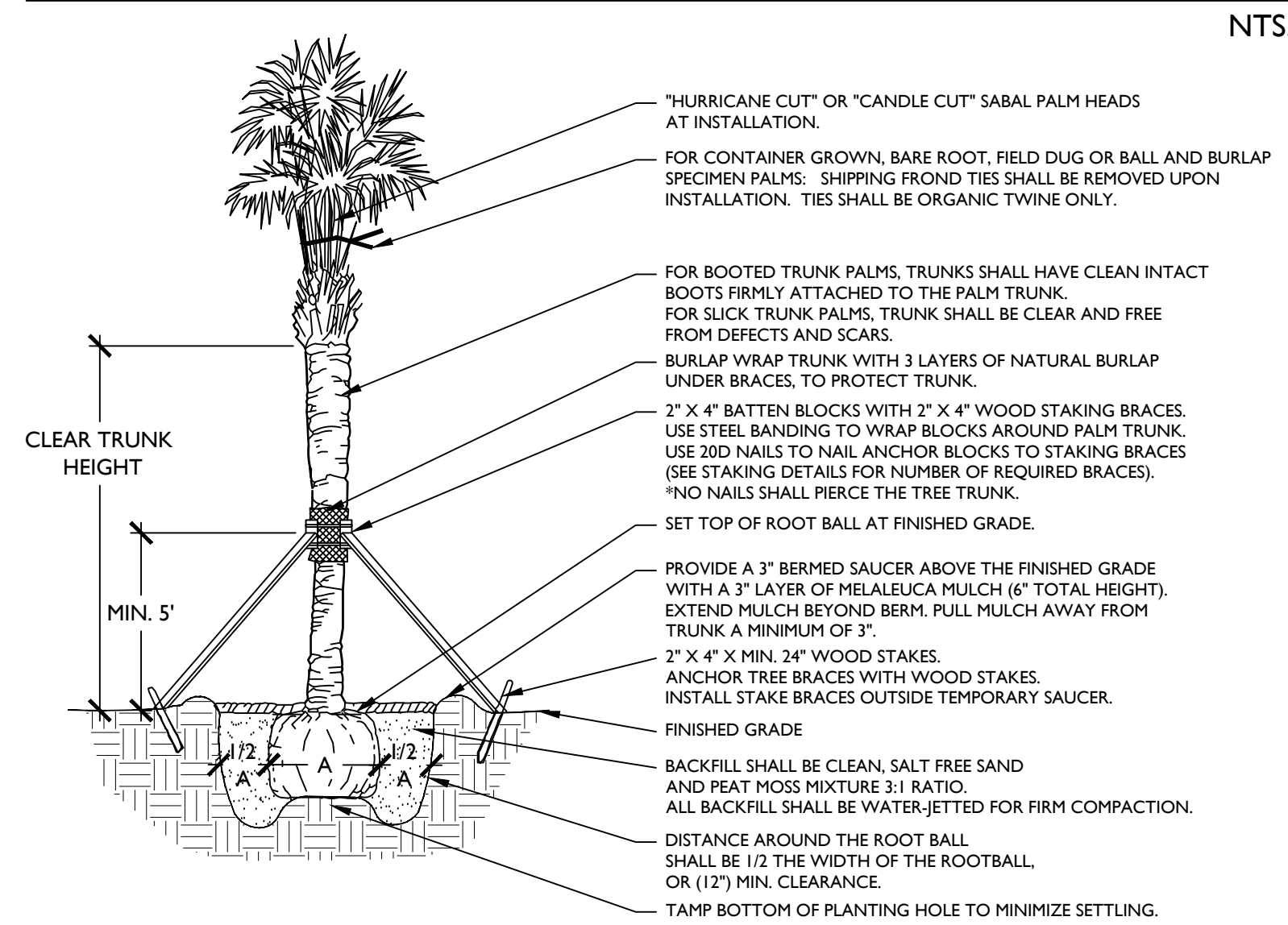
SMALL PALM STAKING PLAN



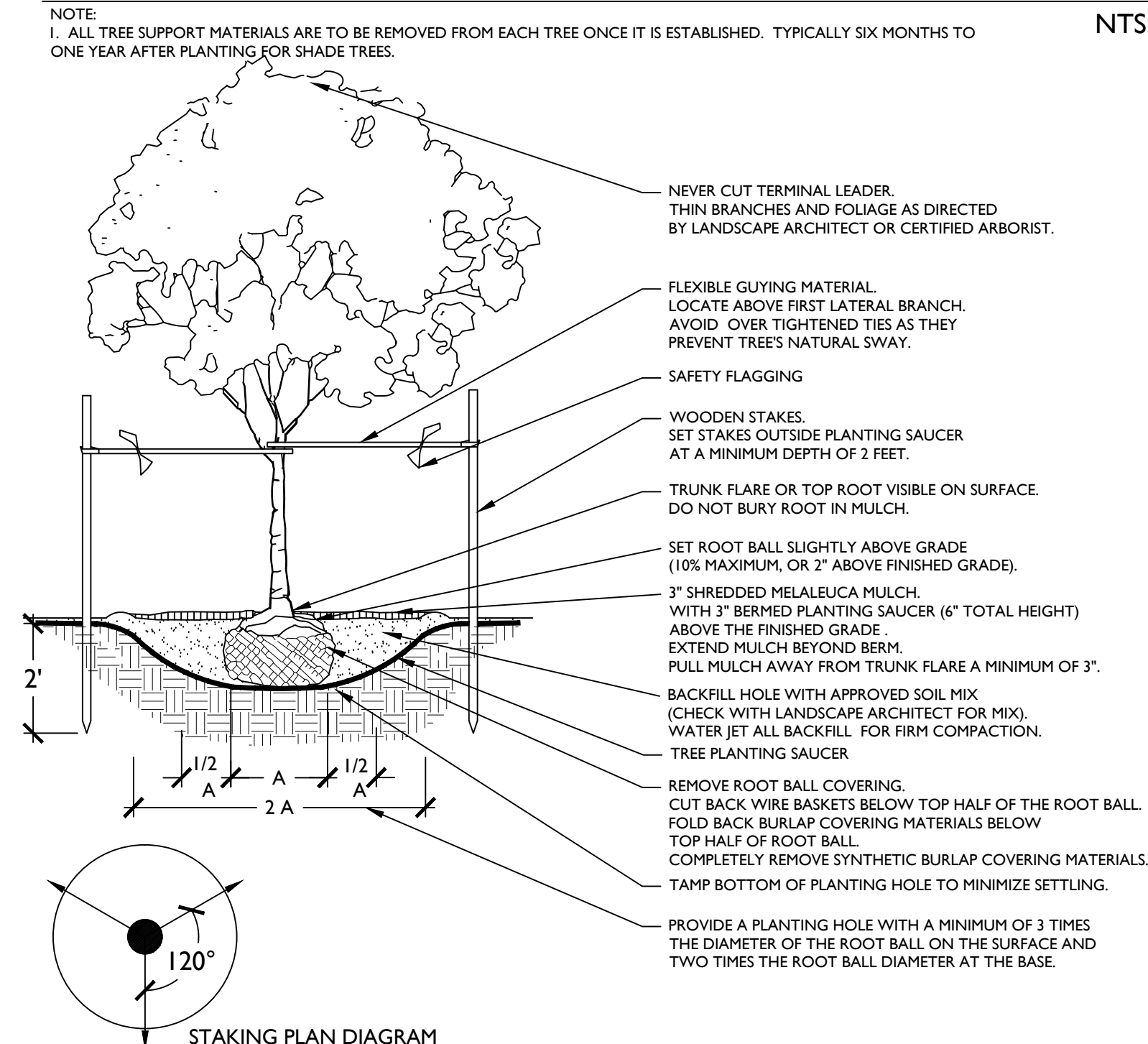
LARGE PALM OR TREE STAKING PLAN



PALM PLANTING DETAIL

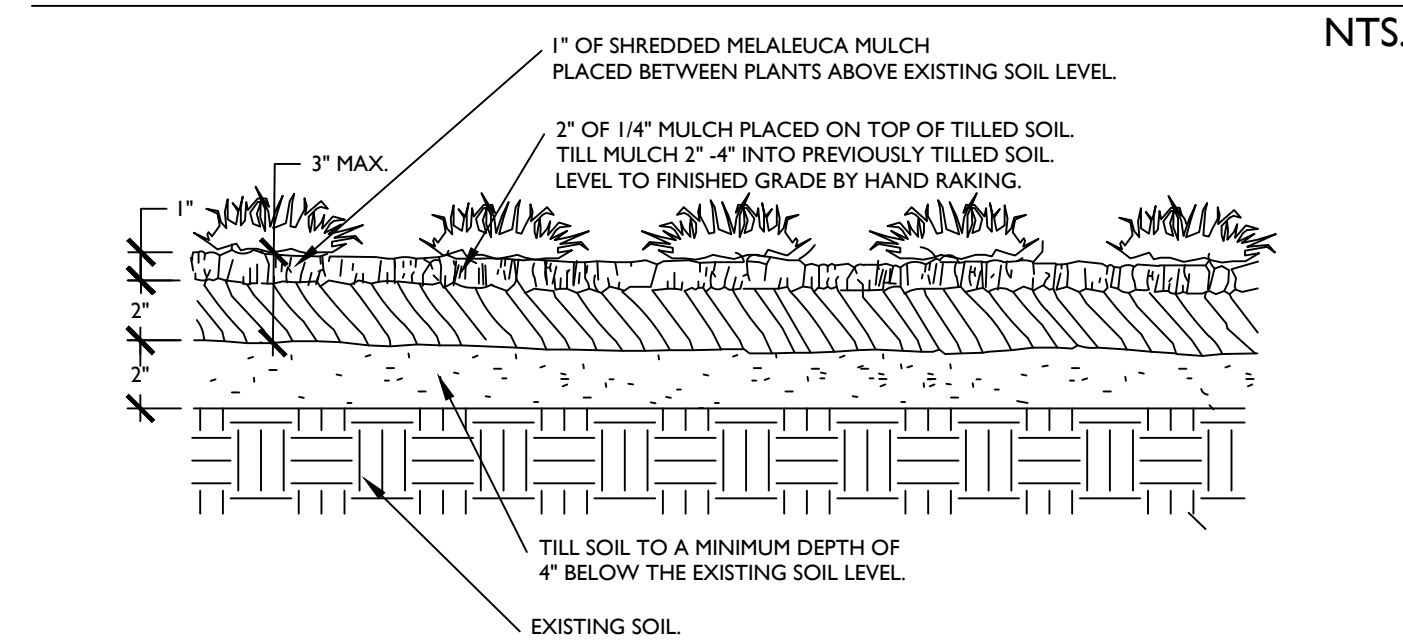


TREE PLANTING DETAIL

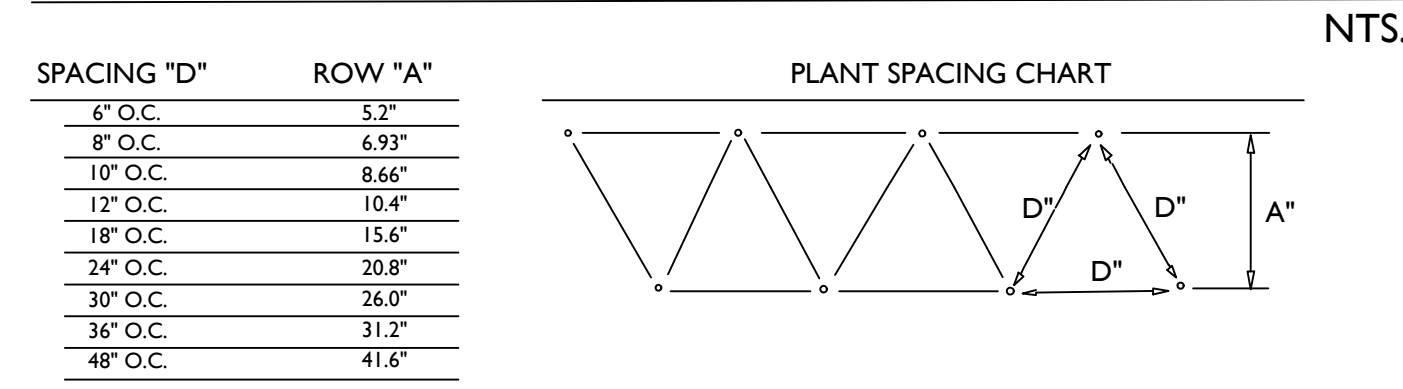


STAKING PLAN DIAGRAM

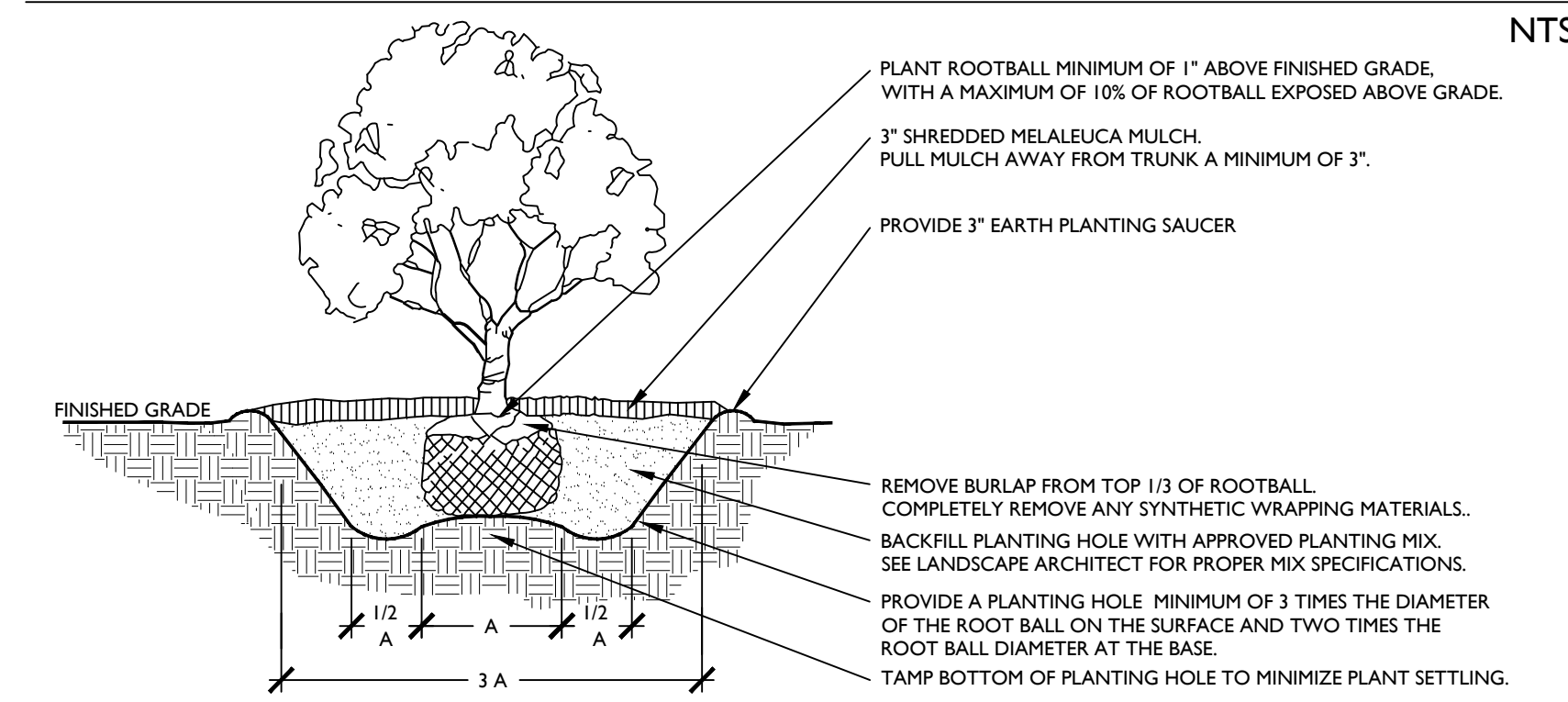
GROUND COVER DETAIL



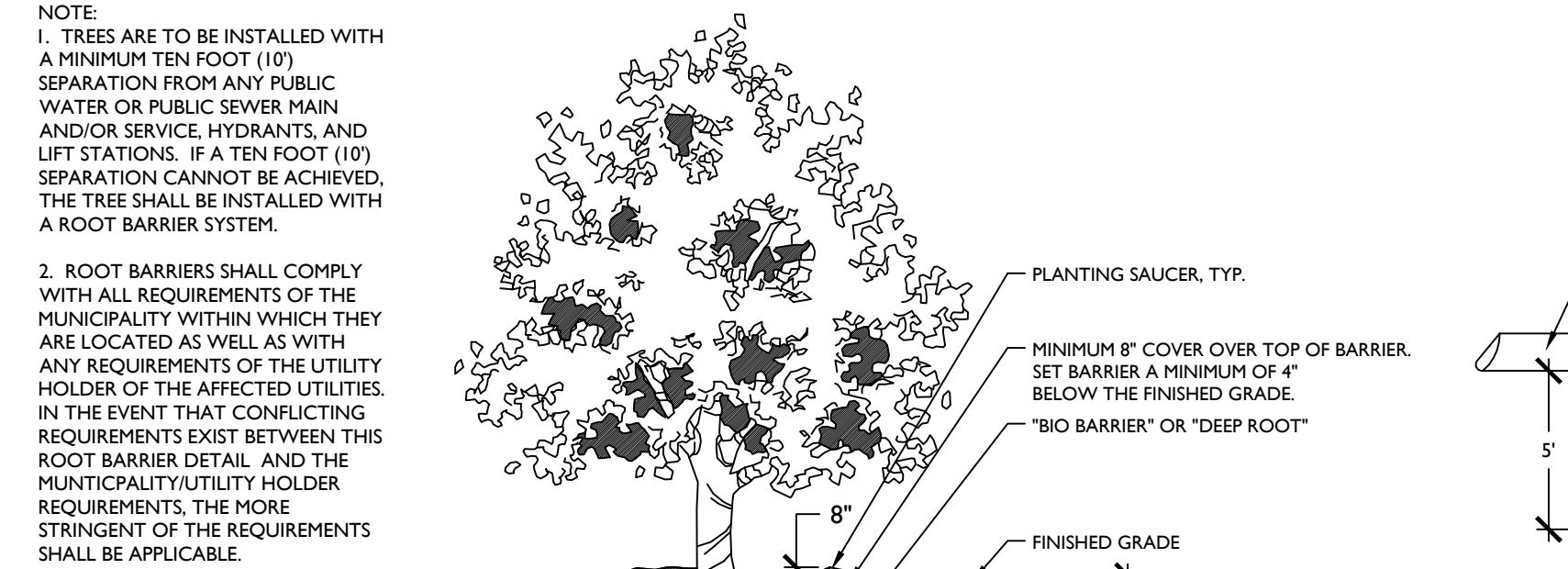
PLANT SPACING DETAIL



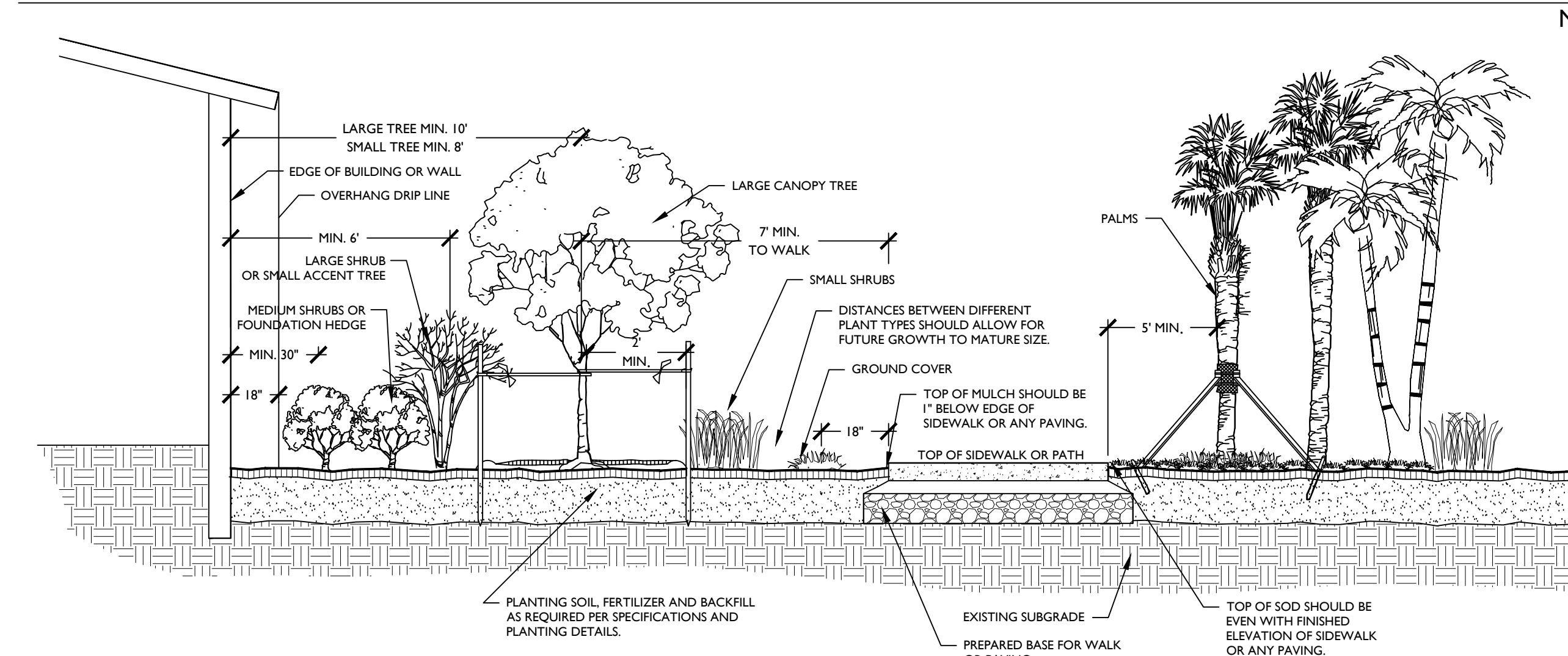
SHRUB PLANTING DETAIL



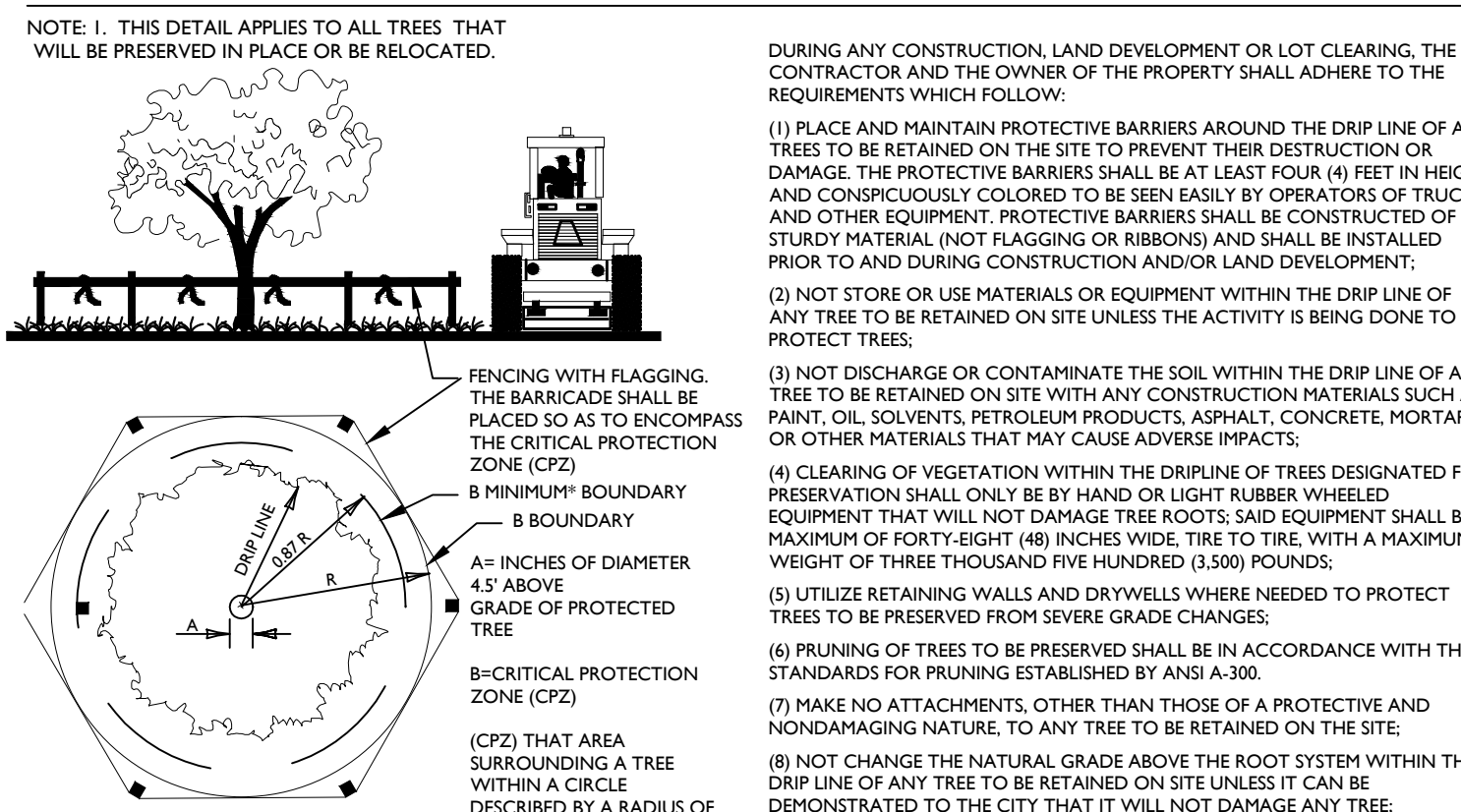
ROOT BARRIER DETAIL



TYPICAL PLANTING DIAGRAM



TREE PROTECTION DETAIL



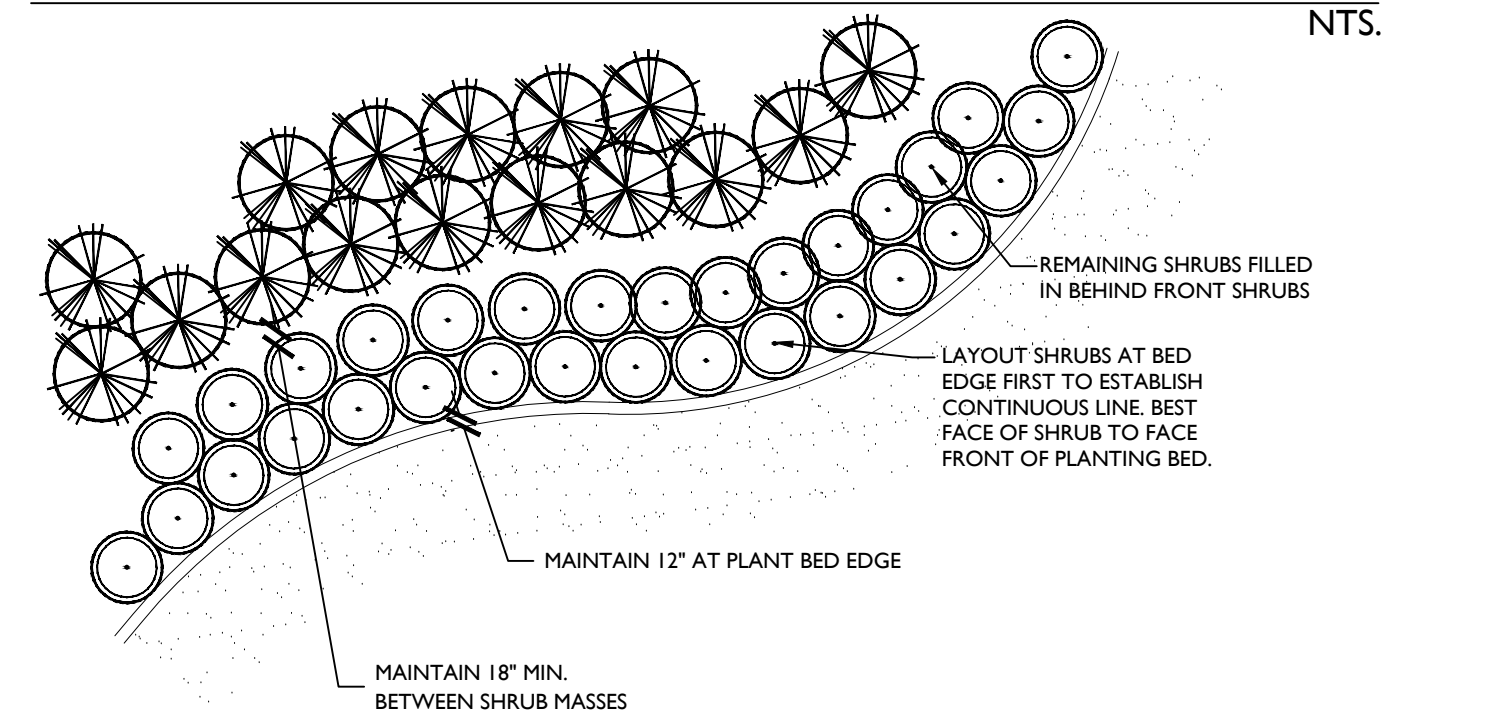
CITY OF COCONUT CREEK STANDARD LANDSCAPE NOTES

- ALL LANDSCAPE AND SPECIFICATIONS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS PROVIDED IN THE CITY OF COCONUT CREEK LAND DEVELOPMENT CODE. PLANS ARE INCOMPLETE WITHOUT WRITTEN NOTES AND SPECIFICATIONS.
- ALL PLANTING MATERIAL SHALL MEET OR EXCEED FLORIDA GRADE #1 AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. TREES SHALL NOT BE TIPPED, TOPPED, OR SHAPED PRIOR TO INSTALLATION.
- LANDSCAPE SHALL BE PLACED TO EDGE OF ABUTTING STREETS, CANALS, LAKES OR OTHER LANDS.
- ALL MECHANICAL EQUIPMENT, AIR CONDITIONING, IRRIGATION PUMP STATIONS AND EQUIPMENT, FPL TRANSFORMERS, POOL PUMPS, ETC., MUST BE SCREENED ON THREE (3) SIDES BY LANDSCAPE SHRUBS. NOTE: THE QUANTITY OF SCREENING SHRUBS IS IN ADDITION TO THE REQUIRED NUMBER OF SHRUBS AS PROVIDED IN THE CODE CALCULATION TABLE. ALL SCREENING SHRUBS SHALL BE PLANTED FOR PROPER OPERATION OF EQUIPMENT BEING SCREENED AND/OR PER THE REQUIREMENTS OF THE UTILITY AS NECESSARY. ALL HEDGE MATERIAL REQUIRED FOR SCREENING PURPOSES SHALL BE PLANTED WITH BRANCHES TOUCHING. ADJUST ON-CENTER SPACING AS NECESSARY AND/OR PROVIDE ADDITIONAL PLANTS TO PROVIDE AN ADEQUATE SCREEN.
- SIGHT DISTANCE CONCERNS MUST BE MAINTAINED FOR CLEAR SIGHT VISIBILITY FROM THIRTY (30) INCHES TO SEVENTY-TWO INCHES, TREE TRUNKS EXCLUDED. MEASUREMENT SHALL BE MADE FROM TOP OF ROOT BALL PLANTED AT PROPER ELEVATION.
- GUYING/STAKING PRACTICES SHALL NOT PERMIT NAILS, SCREWS, WIRES, ETC., TO PENETRATE OUTER SURFACES OF TREES, PALMS OR OTHER PLANT MATERIAL. TREES, PALMS AND PLANT MATERIAL REJECTED DUE TO THIS PRACTICE SHALL BE REPLACED WITH THE INSPECTOR ON SITE.
- BURLAP MATERIAL, WIRE CAGES, PLASTIC/CANVAS STRAPS, ETC., MUST BE CUT AND REMOVED FOR THE TOP ONE HALF (1/2) DEPTH OF THE ROOT BALL. TREES AND SHRUBS GROWN IN GROW BAGS OR GROW BAG TYPE MATERIAL MUST HAVE SUCH MATERIAL REMOVED ENTIRELY PRIOR TO PLANTING THE TREE OR SHRUB.
- ALL PLANT MATERIAL SHALL BE FREE OF PESTS, INSECTS, DISEASE, WEEDS, ETC.
- ALL REQUIRED LANDSCAPE MATERIAL SHALL BE INSTALLED USING A PLANTING SOIL MIX COMPRISED OF A TYPE APPROPRIATE TO THE INDIVIDUAL PROPOSED PLANT MATERIAL AND THE NATIVE SOIL FOUND ON THE SITE.
- ALL PLANT MATERIAL SHALL BE PLANTED AT THE PROPER DEPTH, AS ORIGINALLY GROWN AND/OR SO THE TOP OF THE ROOT BALL IS FLUSH OR SLIGHTLY ABOVE FINISHED GRADE IMMEDIATELY AFTER PLANTING. ALL TREES SHOULD PROVIDE TRUNK TAPER WHEN PROPERLY PLANTED AT THE CORRECT PLANTING DEPTH.
- ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING TO ELIMINATE AIR POCKETS IN THE ROOT ZONE AREA.
- COLOR-TREATED OR DYED MULCH WILL NOT BE ACCEPTED.
- UPON COMPLETION OF WORK, THE SITE SHALL BE CLEARED OF ALL DEBRIS, SUPERFLUOUS MATERIALS, AND EQUIPMENT CAUSED BY THIS PERMIT TO THE SATISFACTION OF THE INSPECTOR.
- REFER TO COCONUT CREEK FIRE EQUIPMENT CLEAR ZONE DIAGRAM TO MAINTAIN A SAFE ZONE FRONTING FIRE HYDRANTS.
- DO NOT PLANT TREES, SHRUBS OR GROUND COVER WITHIN ELECTRIC METER CLEAR ZONE. PROVIDE A SAFE ZONE AS DESCRIBED BY THE ELECTRICAL INSPECTOR.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ONTO IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER AN IMPERVIOUS SURFACE SUCH AS A SIDEWALK, ETC. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 P.M. TO 8:00 A.M. ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.
- IRRIGATION PERMITS AND PLANS SHALL BE SUBMITTED FOR APPROVAL AT TIME OF BUILDING PERMITS.
- ALL NON-SINGLE FAMILY OR DUPLEX IRRIGATION SYSTEMS OTHER THAN CITY WATER SYSTEMS SHALL REQUIRE A SOUTH FLORIDA WATER MANAGEMENT DISTRICT WATER USE PERMIT PRIOR TO ISSUANCE OF AN IRRIGATION PERMIT AND INSTALLATION OF THE IRRIGATION SYSTEM AS REQUIRED.
- ALL SITE AMENITIES TO INCLUDE SITE STREET LIGHTS, LANDSCAPE COMMON OPEN SPACE, IRRIGATION COMMON OPEN SPACE, BUFFERS, BERMS, LANDSCAPE ENTRY FEATURES, ETC. LEADING UP TO AND INCLUDING THE MODEL HOME, MUST BE CERTIFICATE OF OCCUPANCY MUST BE COMPLETED AND FUNCTIONAL PRIOR TO ISSUANCE OF THE FIRST REQUESTED CERTIFICATE OF OCCUPANCY.
- THE HEIGHT OF ALL REQUIRED, DESIGNED AND INSTALLED BERMS SHALL BE FROM THE HIGHEST ADJACENT POINT WHETHER IT IS THE SIDEWALK, PARKING AREA, VEHICULAR USE AREA, SURROUNDING GROUND, ETC. WHERE A BERM ABUTS A SIDEWALK, THERE SHALL BE A ONE (1) FOOT LEVEL SOD AREA ADJACENT TO THE SIDEWALK PRIOR TO THE START OF THE BERM.
- AN INSPECTION IS REQUIRED PRIOR TO THE BACKFILLING OF TREES/PALMS IN ALL PARKING MEDIANS AND ISLANDS.

GENERAL LANDSCAPE NOTES

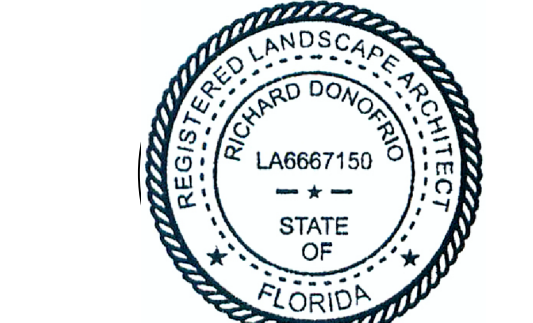
- STRUCTURAL ELEMENTS AND HARDSCAPE FEATURES INDICATED ON LANDSCAPE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. LANDSCAPE PLANS ARE TO BE UTILIZED FOR LOCATION OF LIVING PLANT MATERIAL ONLY. LANDSCAPE PLANS SHOULD NOT BE UTILIZED FOR STAKING AND LAYOUT OR LOCATION OF ANY STRUCTURAL SITE FEATURES INCLUDING BUT NOT LIMITED TO: BUILDINGS, SIGNAGE, PATHWAYS, EASEMENTS, BERMS, WALL, FENCES, UTILITIES OR ROADWAYS.
- CONTRACTOR SHALL ACQUIRE ALL APPLICABLE FEDERAL, STATE, LOCAL, JURISDICTIONAL OR UTILITY COMPANY PERMITS REQUIRED PRIOR TO REMOVAL, RELOCATION, AND/OR INSTALLATION OF LANDSCAPE MATERIALS INDICATED WITHIN PLAN DOCUMENTS. THE CONTRACTOR SHALL HAVE PERMITS "IN HAND" PRIOR TO STARTING WORK. LANDSCAPE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR WORK PERFORMED WITHOUT PERMITTED DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES TO THE WORK, AT NO ADDITIONAL COST TO THE OWNER, AS A RESULT OF UNAUTHORIZED WORK PRIOR TO RECEIPT OF PERMIT.
- TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. IN THE EVENT OF A CONFLICT, AFFECTED PLANT MATERIAL SHALL BE FIELD ADJUSTED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT TO AVOID CONFLICTS WITH THE WITH EXISTING AND PROPOSED UTILITIES, LIGHT POLES, DRAINAGE STRUCTURES OR LINES, LAKE MAINTENANCE EASEMENTS OR OTHER AFFECTED SITE FEATURES.
- ANY PLANTING WITHIN THE SIGHT TRIANGLES SHALL PROVIDE UNOBSTRUCTED VIEWS AT A LEVEL BETWEEN 30" AND 8' ABOVE THE PAVEMENT.
- ALL UTILITY BOXES/STRUCTURES TO BE SCREENED ON 3 SIDES W/ APPROVED PLANTING MATERIAL.
- IRRIGATION IS REQUIRED PROVIDING 100% COVERAGE WITH A MAXIMUM OF 50% OVERLAP, AN AUTOMATIC RAIN SENSOR MUST BE INCLUDED.
- ALL PLANT MATERIAL TO BE INSTALLED SHALL CONFORM TO FLORIDA POWER AND LIGHTS' (FPL'S) RIGHT TREE RIGHT PLACE GUIDELINES.
- IN CASE OF DISCREPANCIES PLANS TAKE PRECEDENCE OVER PLANT LIST.
- LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES PRIOR TO BIDDING.
- REMOVAL OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR.
- RELOCATION OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR. REFER TO SPECIFICATIONS FOR RELOCATION INSTRUCTIONS.

SHRUB AND GROUND COVER PLANTING DETAIL



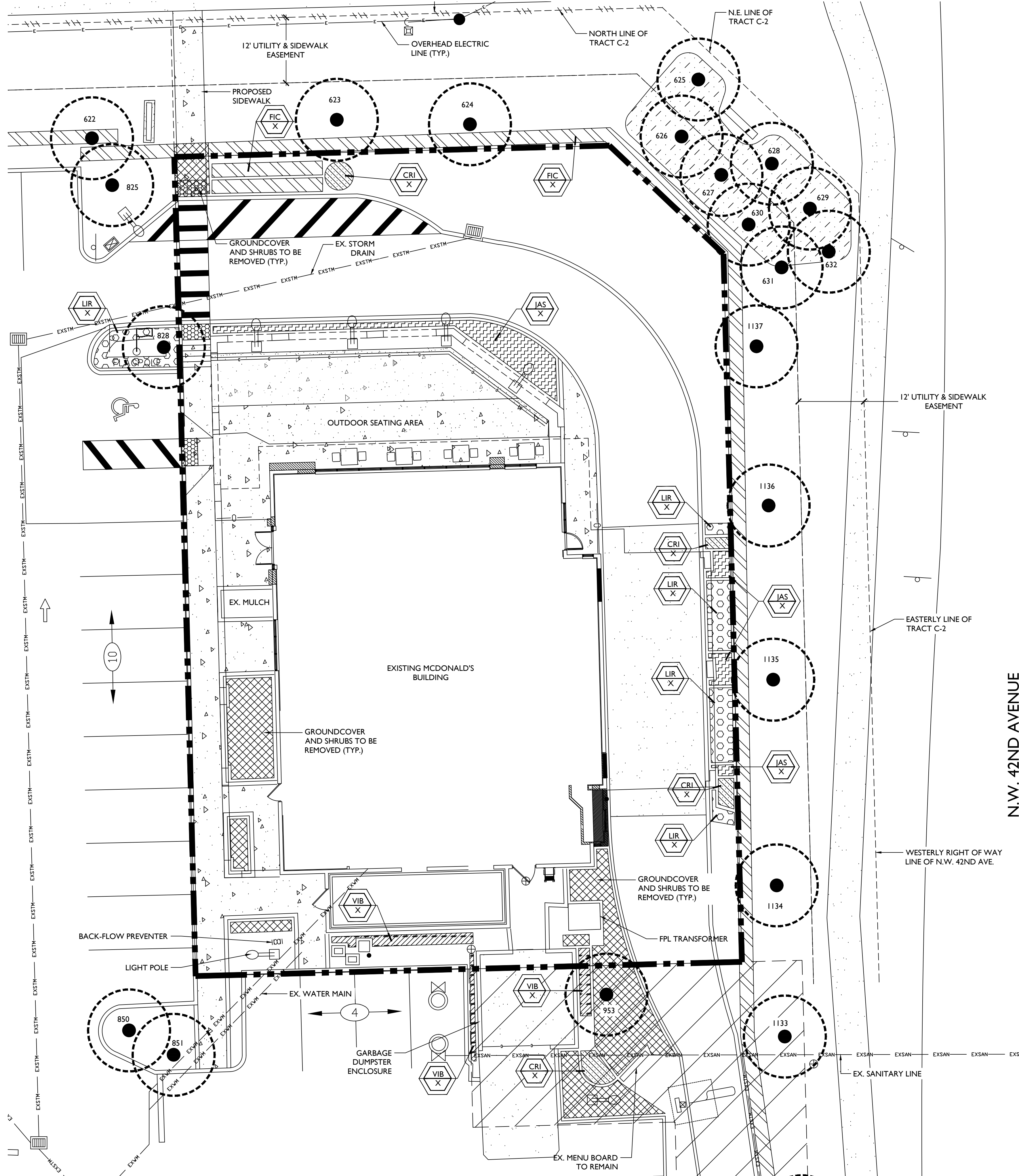
MCDONALD'S 009-1012
LANDSCAPE DETAILS
PREPARED FOR MCDONALD'S CORP.
CITY OF COCONUT CREEK, FL

REVISION DATES	
DATE	APPROVAL
1-23-2014	INITIAL PREPARATION
3-27-2014	REVISIONS TO ADDRESS CITY COMMENTS



"ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE LANDSCAPE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE LANDSCAPE ARCHITECT'S WRITTEN PERMISSION."

DRAWN BY: LHT
DRAWING #: 2014-02-27_LSC_1066.52.dwg
FILE #: 1066.52

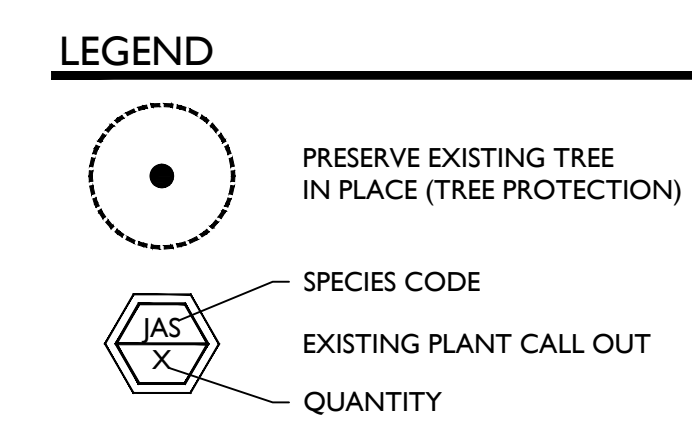


EXISTING TABULAR TREE LIST

POINT	SIZE	SPREAD	HEIGHT	TYPE
622	16"	24	28	OAK
623	20"	35	28	OAK
624	20"	30	30	OAK
625	9	20	24	QUEEN PALM
626	9	20	24	QUEEN PALM
627	14	20	18	QUEEN PALM
628	9	20	2	QUEEN PALM
629	12	20	24	QUEEN PALM
630	10	20	22	QUEEN PALM
631	10	20	20	QUEEN PALM
632	10	20	20	QUEEN PALM
825	10	18	25	TABEBUIA
828	8	18	20	TABEBUIA
850	10	12	23	FOX TAIL PALM
851	10	12	23	FOX TAIL PALM
1133	14	30	30	OAK
1134	14	30	25	OAK
1135	14	30	28	OAK
1136	14	30	28	OAK
1137	14	30	28	OAK

EXISTING LANDSCAPE SCHEDULE

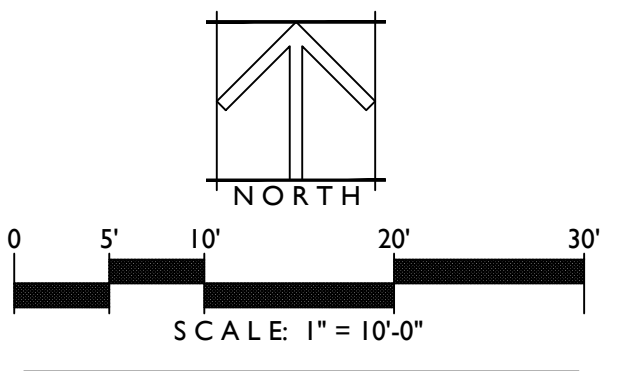
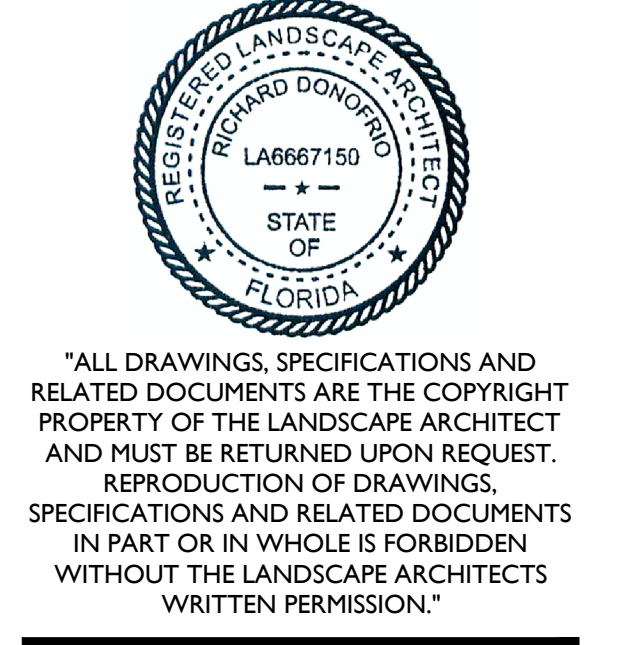
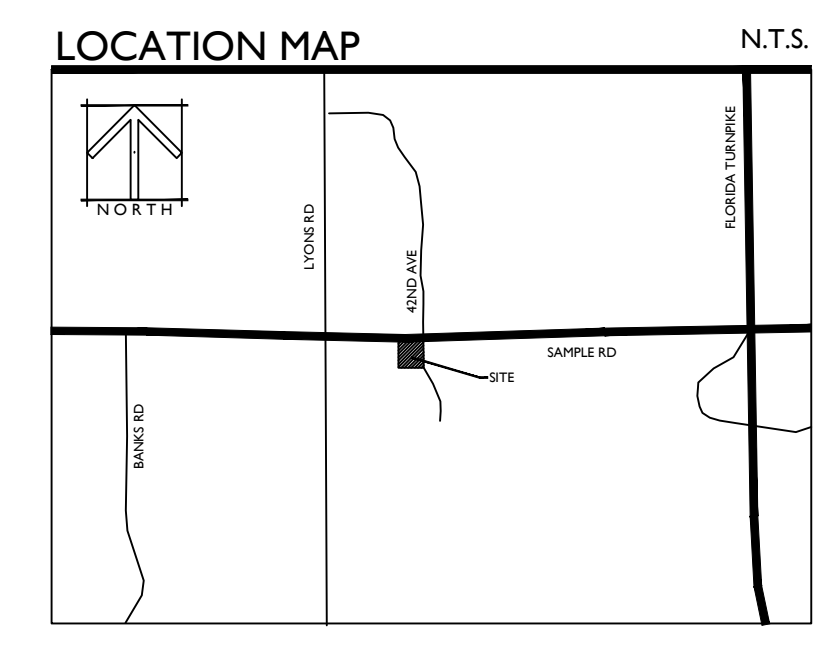
SHRUBS			
CODE	Botanical Name	Common Name	Remarks
CRI	CRINUM AUGUSTUM	CRINUM LILY	Existing To Remain
FIC	FICUS NITIDA	FICUS	Existing To Remain
LIR	LIRIOPE MUSCARI 'EVERGREEN GIANT'	LIRIOPE	Existing To Remain
JAS	JASMINUM VOLLUBLE	WAX JASMINE	Existing To Remain
VIB	VIBURNUM ODORTISSIMUM	SWEET VIBURNUM	Existing To Remain



MCDONALD'S 009-1012
EXISTING LANDSCAPE INVENTORY
 PREPARED FOR MCDONALD'S CORP.
 CITY OF COCONUT CREEK, FL

REVISION DATES

DATE	APPROVAL	NOTES
1/27/2014		INITIAL PREPARATION
1/30/2014		REVISIONS TO ADDRESS CITY COMMENTS



DRAWN BY: LHT
 DRAWING #: 2014-02-27_EX_LSC_1066.52.dwg
 FILE #: 1066.52

SHEET #
TI.1